



# Inspection Report

## Inhi Customer

**Property Address:**

123 N Anystreet  
Any Town ID 99999



## Inland Northwest Home Inspection LLC

**Chip Kenny WA State License 746**

**P.O.Box 703**

**Lewiston Idaho 83501**

**208.791.5933**

## Table of Contents

<u>Cover Page.....</u>	<u>1</u>
<u>Table of Contents .....</u>	<u>2</u>
<u>Intro Page .....</u>	<u>3</u>
<u>1 Grounds .....</u>	<u>4</u>
<u>2 Exterior .....</u>	<u>8</u>
<u>3 Roof System (Exterior).....</u>	<u>18</u>
<u>4 Kitchen Components and Appliances.....</u>	<u>23</u>
<u>5 Laundry Room/ Area/ Closet .....</u>	<u>27</u>
<u>6(A) Master Bath.....</u>	<u>29</u>
<u>6(B) Top Floor 3/4 Bath .....</u>	<u>32</u>
<u>6(C) Main Floor Full Bath.....</u>	<u>35</u>
<u>6(D) 1/2 Bath .....</u>	<u>37</u>
<u>7 Rooms.....</u>	<u>41</u>
<u>8 Interior Components .....</u>	<u>43</u>
<u>9 Attic/ Roof System (Interior) .....</u>	<u>47</u>
<u>10 Crawlspace .....</u>	<u>50</u>
<u>11 Plumbing System .....</u>	<u>54</u>
<u>12 Electrical System .....</u>	<u>60</u>
<u>13 Heating System(s) .....</u>	<u>64</u>
<u>14 A/C System(s) .....</u>	<u>66</u>
<u>SUMMARY 1 (Items of Concern and Potential Safety Issues) .....</u>	<u>67</u>
<u>SUMMARY 2 (Maintenance/ Monitor Items/ Deferred Cost Items).....</u>	<u>96</u>
<u>Invoice .....</u>	<u>105</u>

<b>Date:</b> 8/3/2018	<b>Time:</b> 02:00 PM	<b>Report ID:</b> Sample Report 1
<b>Property:</b> 123 N Anystreet Any Town ID 99999	<b>Customer:</b> Inhi Customer	<b>Real Estate Professional:</b>

## Comment Key / Definitions

All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = The item, component or unit was visually observed and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = This item, component or unit was not inspected and no determination is made as to whether or not it was functioning as intended. A reason will be stated as to why it was not inspected.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Limited Visibility (LV)** = The item, component or unit is either not visible or visibility is limited to the extent that an adequate determination cannot be made as to its condition or performance.

**Item of Concern (IC)** = The item, component or unit is not functioning as intended or is a potential safety concern. Further inspection by a qualified contractor or repairman is recommended. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Maintenance/ Monitoring Recommended (MM)** = The item, component or unit is showing typical age related evidence that repairs or maintenance are /may be needed in the future. An occasional visual examination is recommended and maintenance performed as needed

**Deferred Cost Item (DF)** = Item, system or component is nearing the end or exceeded its typical lifespan according to industry standards. Repair or replacement may be needed within the next 5 years

**In Attendance:**

Cutomer attending review at end

**Type of building:**

Single Family, Wood Frame

**Style of Home:**

2 Story, Crawlspace

**State of Occupancy:**

Occupied by Owner, Partially Furnished

**Approximate age of building:**

100-125 Years

**Home Faces:**

East

**Temperature (At start of inspection):**

Over 85 (F)

**Weather:**

Clear

**Ground/Soil surface condition:**

Dry

**Rain/Snow in last 3 days:**

No

## 1. Grounds

The Inspection of the site includes the building perimeter, land grade and water drainage directly adjacent to the foundation; trees and vegetation that directly adversely affect the structure, walks, grade steps, driveways, patios, and retaining walls contiguous with the structure. **The inspector will Describe** the material used for the driveways, walkways, patios, flatwork and retaining walls contiguous with the structure. **The inspector will Inspect:** (a) for serviceability of the driveways, steps, walkways, patios, flatwork and retaining walls contiguous with the structure (b) for proper grade and drainage slope (c) vegetation in close proximity of the home. **The inspector will Describe** any deficiencies of these systems or components. **The inspector is Not required to: Inspect** fences, privacy walls or retaining walls that are not contiguous with the structure. Report the condition of soil, trees, shrubs or vegetation unless they adversely affect the structure. **Evaluate** hydrological or geological conditions. Determine the adequacy of bulkheads, seawalls, breakwalls and docks

### Styles & Materials

**Driveway:**

Gravel

**Sidewalks and walkways:**

Concrete  
Brick/ Block/ Stone

**Steps/ Stoops/ Ramps/ Railings:**

Wood

**Patios:**

Concrete Patio  
Brick & Sand Patio

**Porches/Decks/ Balconies/Railings:**

Wood Deck  
Masonry/Concrete Piers  
Wood Columns  
Wood Beams

**Hose Bibs/ Hydrants:**

Domestic Water

**Retaining Walls:**

Railroad Ties

### Items

#### 1.0 Sidewalks/ Service Walks

**Item of Concern**

The sidewalk on the back of the house has settled creating a negative grade towards the house. This is allowing water to flow towards house and entering the crawlspace. Recommend further evaluation by licensed contractor to correct grade and proceed as recommended.



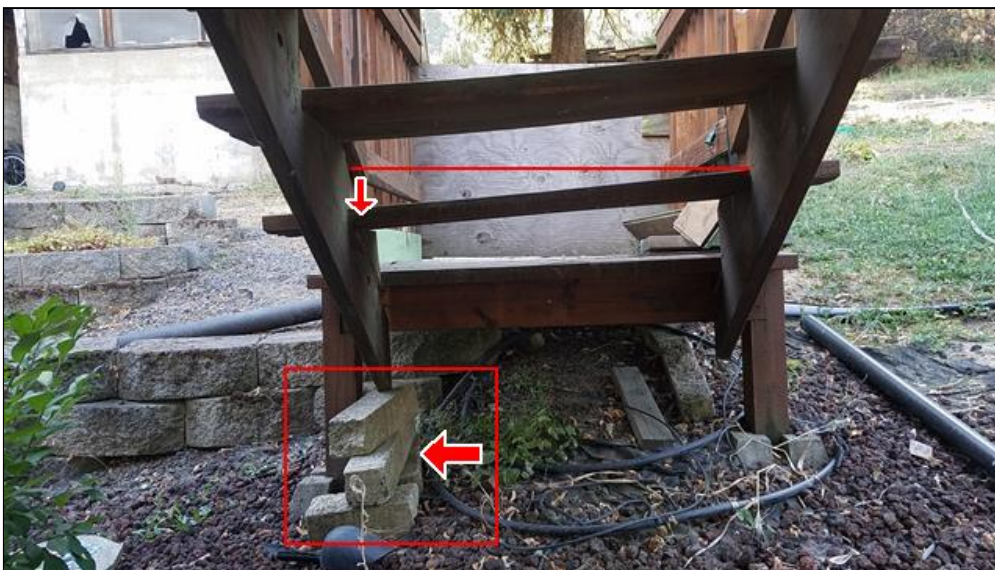
#### 1.1 Steps/ Stoops/ Ramps and Applicable Railings

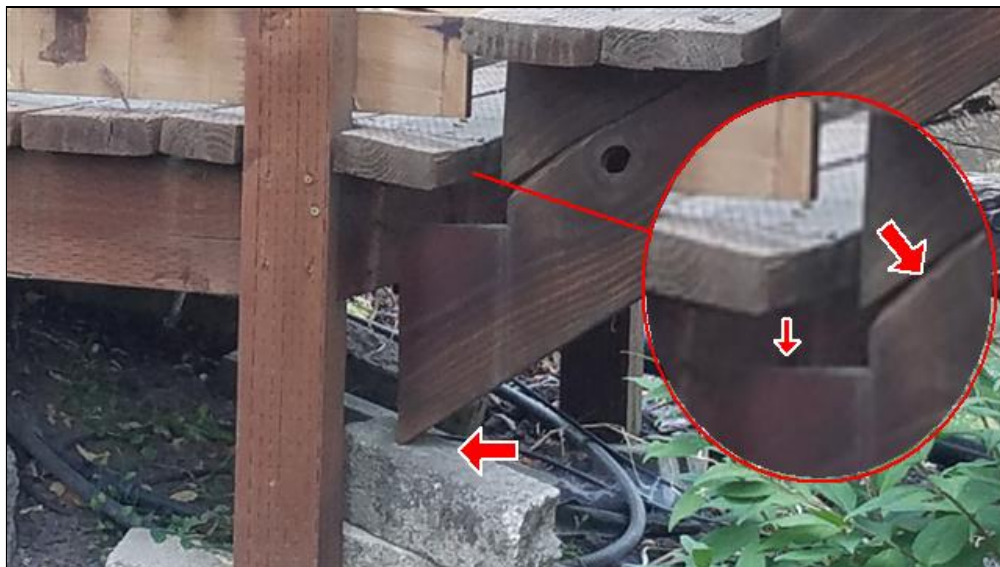
**Item of Concern**

(1) The wood steps to the front door show signs of wood rot and deterioration, as well as loose planking. This is creating a potential safety hazard. Recommend rebuilding steps for safety purposes.



(2) Back steps to upper deck are failing and are a safety hazard. Recommend rebuilding steps properly prior to use.





**1.2 Patios and Applicable Railings**

Inspected, Item of Concern

Deteriorating brick and sand patios creating multiple trip hazards. Recommend repair as needed.



**1.3 Decks, Porches, Balconies and Applicable Railings**

Item of Concern

Both upper and lower decks are not properly attached to the house. Deck ledgers should be attached with 1/2 lag bolts on 2 ft centers. Further evaluation for needed repairs by a licensed contractor is recommended.

**1.4 Deck, Patio, Porch Covers**

Inspected

**1.5 Landscaping: Vegetation, Grading & Drainage Affecting Foundation and Building**

Inspected

**1.6 Foundation Vent/ Basement Window Wells**

Not Present

**1.7 Water faucets (Hose bibs & Hydrants Attached to the house)**

Inspected

**1.8 Retaining Walls**

Inspected

**1.9 Evidence of underground fuel storage tank**

Not Present, Limited Visibility

---

The grounds of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 2. Exterior

The Inspection of the site includes the building perimeter, land grade and water drainage directly adjacent to the foundation; trees and vegetation that directly adversely affect the structure, walks, grade steps, driveways, patios, and retaining walls contiguous with the structure. **The inspector will Describe** the material used for the driveways, walkways, patios, flatwork and retaining walls contiguous with the structure. **The inspector will Inspect:** (a) for serviceability of the driveways, steps, walkways, patios, flatwork and retaining walls contiguous with the structure (b) for proper grade and drainage slope (c) vegetation in close proximity of the home. **The inspector will Describe** any deficiencies of these systems or components. **The inspector is Not required to: Inspect** fences, privacy walls or retaining walls that are not contiguous with the structure. Report the condition of soil, trees, shrubs or vegetation unless they adversely affect the structure. **Evaluate** hydrological or geological conditions. Determine the adequacy of bulkheads, seawalls, breakwalls and docks

### Styles & Materials

**Gutters/ Scuppers/Evestrough:**

Metal

**Siding Style:**

Lap  
Wood shakes

**Siding Material:**

Composite board

**Trim/ Soffit/ Fascia/ Flashing:**

Wood  
Wood Composite  
Metal

**Exterior Entry Doors:**

Steel door with Window  
Wood Door with Window

**Windows:**

Wood  
Metal  
Vinyl

**Foundation Wall Material:**

Poured Concrete  
Concrete Block

### Items

#### 2.0 Roof Drainage Systems (Gutters/Downspouts)

**Item of Concern**

Recommend installing gutters with proper downspouts around the entire house in order to prevent unwanted moisture from entering crawlspace.



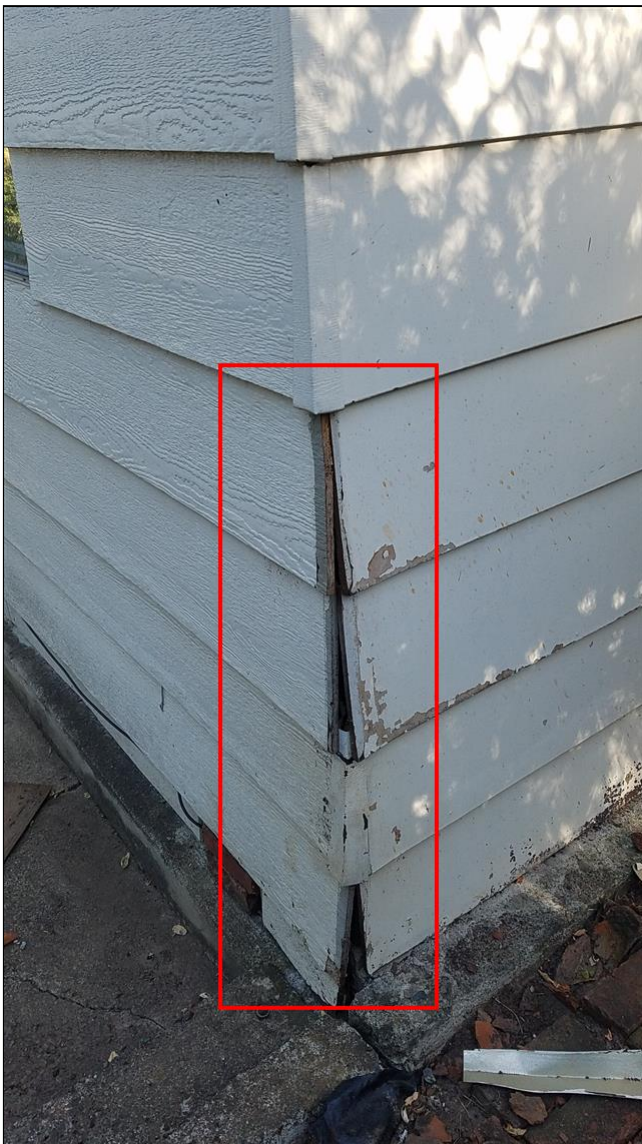
#### 2.1 Siding

Inspected, Maintenance/ Monitoring Recommended



The siding is an overall satisfactory condition with typical maintenance and minor repairs required. Recommend repair as needed, prep and paint/ stain in order to prevent deterioration of the siding. This type of siding is very susceptible to moisture penetration if not properly maintained.





**2.2 Soffit/ Fascia/ Flashing**

Inspected, Maintenance/ Monitoring Recommended

Multiple areas of damaged soffit and fascia. Recommend repair as needed, prep and paint..



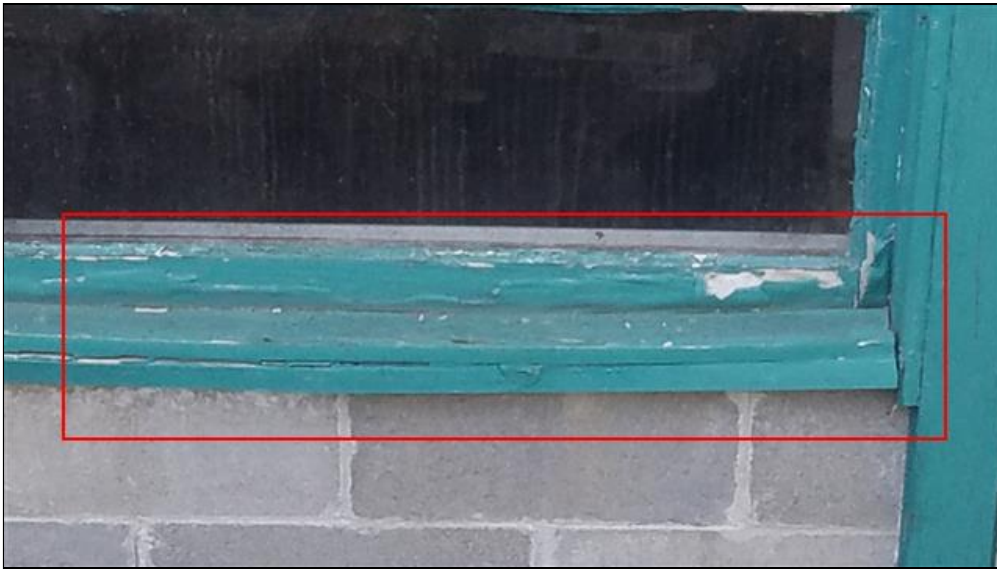
**2.3 Vent outlets through wall and soffit (Bathroom, Kitchen & Dryer Exhaust Vents)**

Inspected

**2.4 Window, Door & Corner Trim**

Inspected

Areas of door, window and / or corner trim that shows signs of wood rot and deterioration due to lack of maintenance. Recommend repairing trim as needed, prep and paint to prevent further deterioration.



**2.5 Exterior Doors (Hinges, Hardware, Weatherstripping)**

Inspected, Item of Concern

The glass is broken out of the back door. Recommend repair for safety purposes.



**2.6 Windows**

Inspected

**2.7 Caulking**

Item of Concern

Caulking should be checked annually and renewed as needed.

All joints, seams, edges and penetrations should be caulked to prevent moisture penetration resulting in damage and deterioration





**2.8 Foundation wall / Slab (visible portion only)**

Inspected

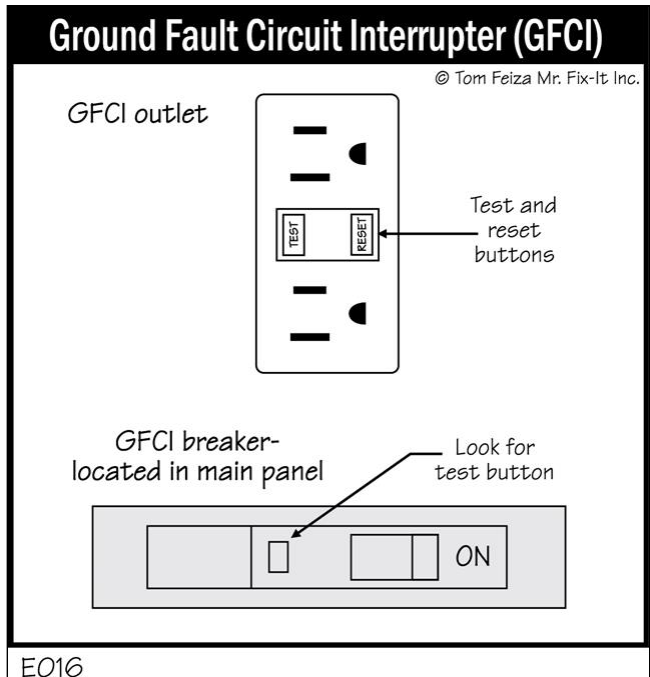
**2.9 Switches and Light fixtures**

Inspected

**2.10 Exterior Outlets (Correct polarity & Grounding -GFI protected- Weatherproof covers)**

Item of Concern

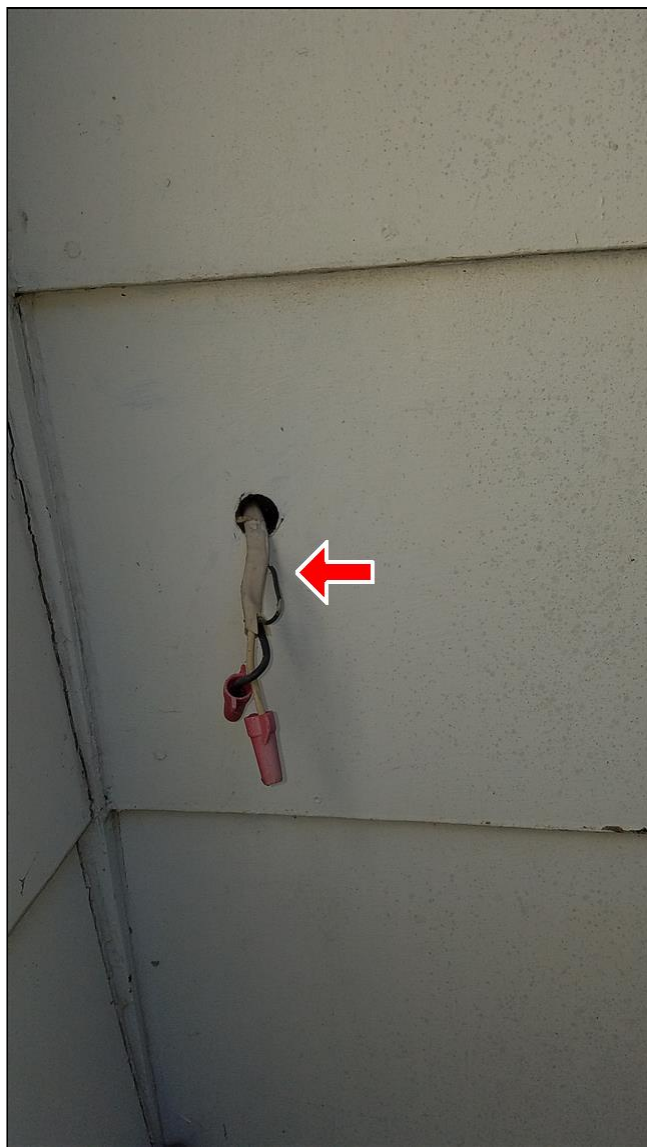
(1) All exterior outlets should be GFI protected for safety purposes. Recommend installing GFI protection for exterior outlets. ( Either GFI outlets or breaker)



GFI Breaker/ outlet



(2) All electrical wiring should be installed in a junction box of proper cover for safety purposes.



---

The grounds of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

### 3. Roof System (Exterior)

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

#### Styles & Materials

**Roof-Type:**

French Hip  
Gable

**Roof Pitch:**

Medium Slope -3:12- 5:12 Pitch  
Steep Slope > 5:12 Pitch

**Viewed roof**

**covering from:**  
Walked roof

**Roof Covering:**

Architectural

**Layers of roofing:**

1+ Layers

**Approximate age of roofing:**

21-25 Years

**Approximate Rated Lifespan of Roof as per Manufacturer:**

Architectural Shingle 35-50 years

**Conditions other than typical aging:**

Alligatoring  
Blistering  
Cracking  
Excessive Granule Loss

**Valley Material:**

Metal

**Chimney (visible from roof):**

Chimney Chase  
Masonry- Brick/Block/Stone/Cultured Product/Stucco/  
EIFS  
Chimney Flue/ Liner  
Unlined

**Ventilation (Visual from Exterior):**

Passive Roof Vents

#### Items

##### 3.0 Roof Coverings

Inspected, Item of Concern, Maintenance / Monitor Recommended, Deffered cost item

(1) Improperly lapped shingles on roof. Recommend further evaluation by license roofer for all needed repairs.



(2) Cleaning moss from the roof is recommended in order to extend the lifespan of the covering,DO NOT PRESSURE WASH as this will damage the shingles. Use a rough surface push broom for best results.



(3) Broken and missing shingles, excessive granule loss and cracking are all indications that the roof is nearing the end of its typical lifespan. Repairs may be needed within the next 5 years.





**3.1 Flashings ( Roof Edge & Wall & Counter Flashing)**

**Item of Concern**

The drip edge is separating from the fascia in multiple sections of the roof. The drip edge prevents water from wicking up the sheathing creating wood rot and possible mold related issues. Recommend further evaluation by a licensed roofer for all needed repairs and proceed as recommended



**3.2 Valleys, Ridges & Hips**

Inspected

**3.3 Plumbing Vent Flashings**

*Item of Concern*

Two plumbing vent flashing Have failed and require replacing. Recommend repair by a qualified professional



**3.4 Chimney(s) (Viewed from roof)**

*Inspected*

**3.5 Class B Vents (Stove Pipes) / Furnace Exhaust Vents (PVC) & Flashings**

*Item of Concern*

Rain cap /spark arrestor is missing from stove pipe. Recommend repair for safety purposes.



### **3.6 Bathroom and Kitchen exhaust fans (Visual verification of Venting)**

Not Present

### **3.7 Ventilation of Roof (Exterior view)**

Inspected

---

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 4. Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

### Styles & Materials

<b>Floor:</b> Sheet Linoleum/ Vinyl	<b>Exhaust/Range hood/ Ceiling Exhaust:</b> Re-circulating	<b>Cabinetry:</b> Wood
<b>Countertop:</b> Laminate	<b>Backsplash:</b> Tile/ Ceramic, Porcelain, Glass	<b>Icemaker:</b> Installed Functional

### Items

**4.0 Ceiling**

Inspected

**4.1 Walls**

Inspected

**4.2 Floors**

Inspected

**4.3 Windows**

Inspected

**4.4 Heat/ Cooling Source**

Inspected

**4.5 Counters and Cabinets (representative number)**

Inspected

**4.6 Caulking**

Inspected

**4.7 Plumbing Drain, Waste and Vent Systems**

Inspected

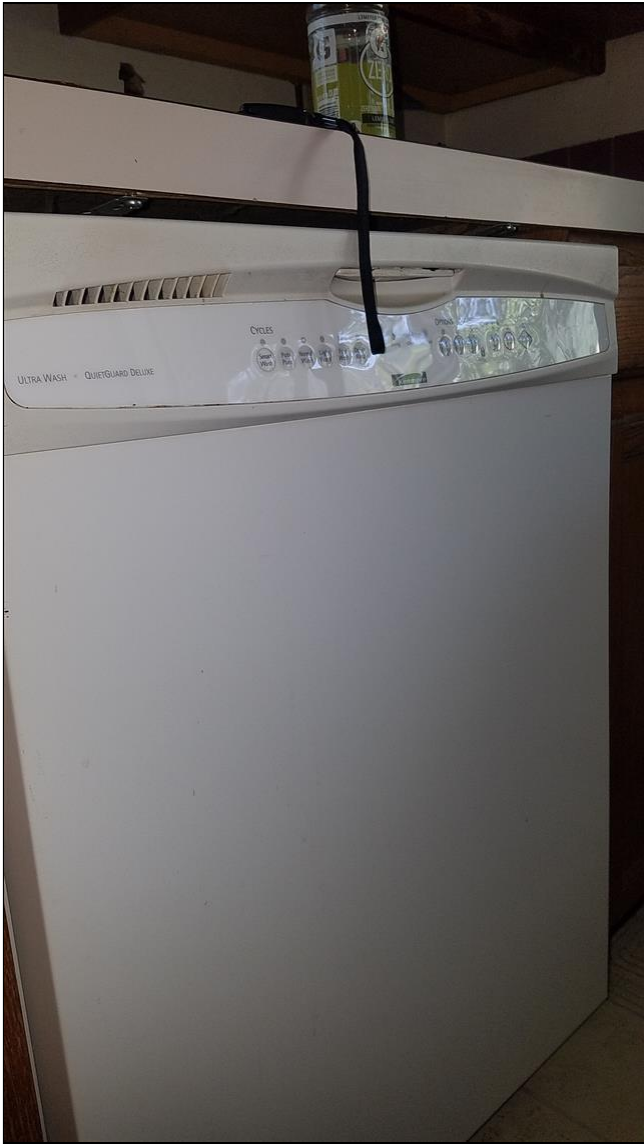
**4.8 Plumbing Water Supply, Distribution System and Fixtures**

Inspected

**4.9 Dishwasher**

Not Inspected, Item of Concern

The dishwasher did not operate at the time of the inspection. No determination is made.

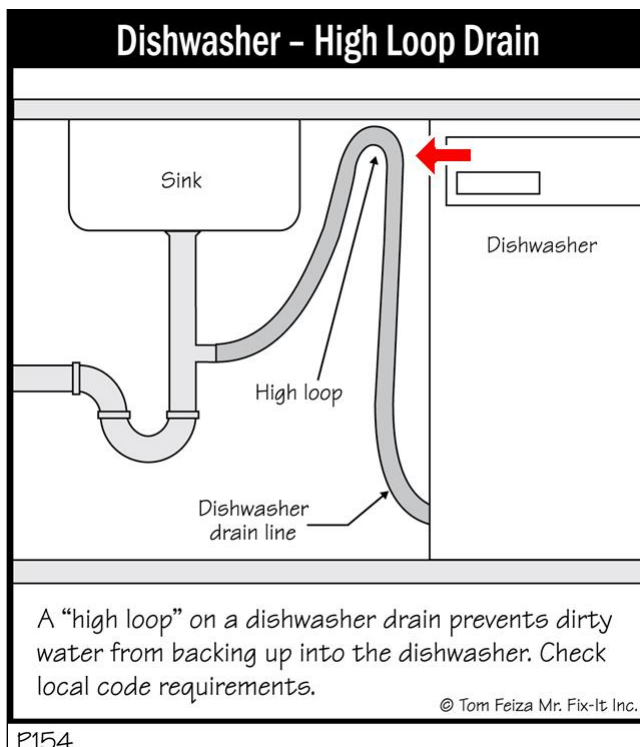


**4.10 Dishwasher drain line**

Maintenance / Monitor Recommended



Dishwasher drain line should either be looped at the high point in cabinet or have an air gap installed to prevent backflow from the sink to the dishwasher.



P154

Dishwasher drain line

**4.11 Food Waste Disposer**

Item of Concern

The garbage disposal was sitting in the cabinet and not hooked up. No determination is made.



**4.12 Ranges/Ovens/Cooktops**

Inspected

**4.13 Refrigerator**

Inspected

**4.14 Range Hood / Downdraft Stovetop Vent**

Inspected

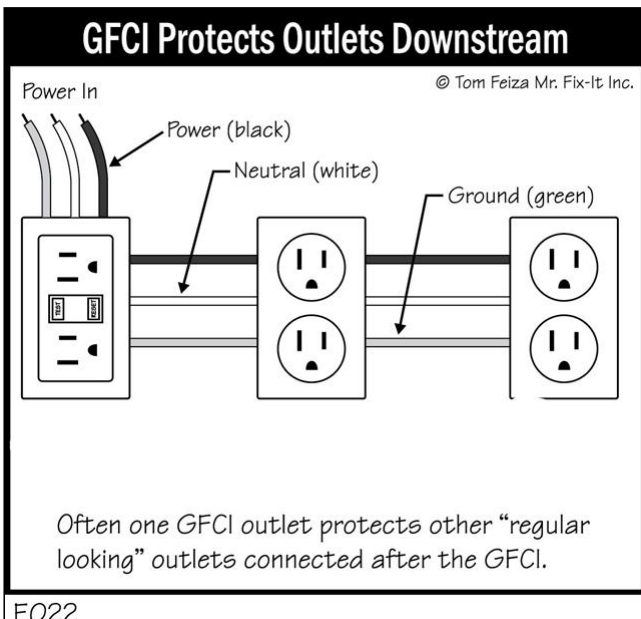
**4.15 Switches and Fixtures**

Inspected

**4.16 Outlets (Correct polarity and Grounding) GFI's where needed**

Item of Concern

All Outlets within 6 feet of the kitchen sink should be GFI protected for safety purposes. Recommend further evaluation and repair by a licensed and qualified professional.



Daisy chain GFI

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Laundry Room/ Area/ Closet

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

### Styles & Materials

**Floor:**

Carpet

**Dryer Power Source:**

220 Electric

**Dryer Vent Material:**

Flexible Metal

**Dryer Vent Location:**

Wall

**Washing Machine Supply Lines:**

Not Present (Recommend Stainless Steel)

### Items

**5.0 Ceiling**

Inspected

**5.1 Walls**

Inspected

**5.2 Floors**

Inspected

**5.3 Doors**

Inspected, Maintenance / Monitor Recommended

The laundry room door will not shut due to shifting and settling. Recommend repair.


**5.4 Windows**

Not Present

**5.5 Laundry Room Vented**

Not Present

**5.6 Plumbing Water Supply, Distribution System and Fixtures**

Inspected

**5.7 Washer Drain Line**

Inspected

**5.8 Electrical Outlets, Switches and Fixtures**

Inspected

**5.9 Clothes Dryer Vent Piping (Visible Portion)****Inspected**

---

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6(A) . Master Bath

### Styles & Materials

**Floor:**

Tile (Ceramic, Porcelain)

**Bathroom Window(s):**

Yes

**Exhaust Fans:**

None

**Tubs/ Shower pans:**

Tile/ stone Shower Pan  
Whirlpool Tub

**Shower/ Tub Enclosures- Surrounds:**

Tile (Porcelain, Ceramic, Glass, Other)

**Bathroom Heat source:**

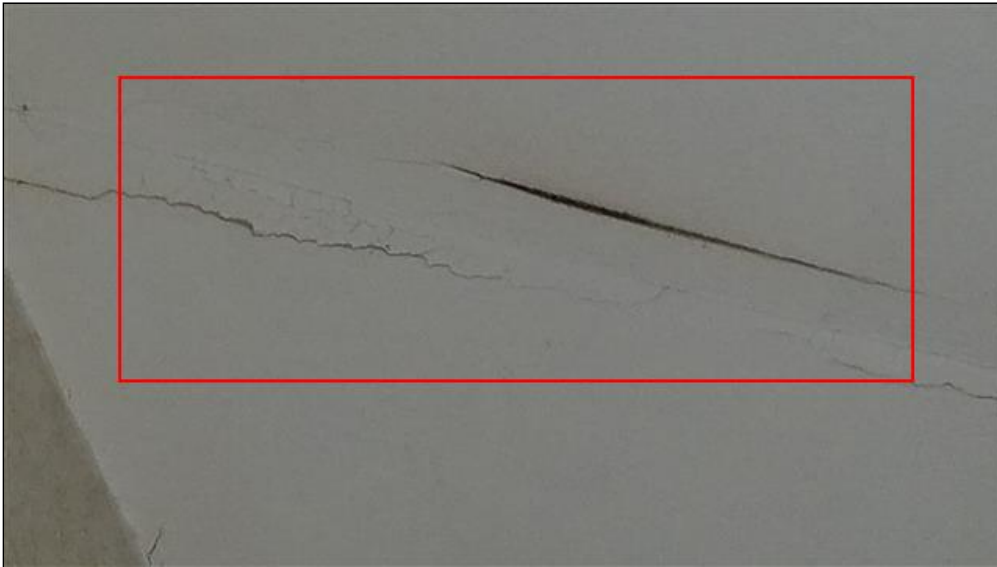
None Visible

### Items

#### 6.0.A Ceiling

**Item of Concern**

Visible moisture damage on the ceiling due to lack of ventilation. Recommend further evaluation and repair.



#### 6.1.A Walls

Inspected

#### 6.2.A Floors

Inspected

#### 6.3.A Doors

Inspected

#### 6.4.A Windows

Inspected

#### 6.5.A Counters and Cabinets (representative number)

Inspected

#### 6.6.A Sinks

Inspected

#### 6.7.A Plumbing: Drain, Waste and Vent Systems

Inspected

**6.8.A Plumbing: Water Supply lines, Valves, Faucets**

Inspected

**6.9.A Toilets: Bowls, Tanks, Lids**

Item of Concern

Toilet bowl is loose from the floor. Recommend tightening. Use caution when tightening so as not to crack the bowl.



**6.10.A Toilets: Supply line, Shut-off valve and Flush and Fill Valve**

Inspected

**6.11.A Tubs & Shower pans**

Inspected

**6.12.A Tub and Shower Controls and Shower heads**

Inspected, Maintenance / Monitor Recommended

Tub control escutcheon does not attach to valve stem properly. Recommend repair by a licensed plumber.



**6.13.A Tub and Shower enclosures**

Inspected

**6.14.A Outlets, Switches and Fixtures**

Inspected

**6.15.A Caulking (Around sinks, Toilets, Tubs/ Showers/Surrounds, Backsplashes)**

Inspected

**6.16.A Exhaust fan**

Not Present

**6.17.A Whirlpool Tub (access door present)**

Item of Concern

There is no visible access door to the whirlpool tub equipment. Recommend installing access door for servicing purposes.



**6.18.A Heat Source Verified**

Not Present

**6(B) . Top Floor 3/4 Bath****Styles & Materials**

<b>Floor:</b> Linoleum/Vinyl	<b>Bathroom Window(s):</b> Yes	<b>Exhaust Fans:</b> None
<b>Tubs/ Shower pans:</b> Fiberglass Shower Pan	<b>Shower/ Tub Enclosures- Surrounds:</b> Fiberglass	<b>Bathroom Heat source:</b> None Visible

**Items****6.0.B Ceiling**

Inspected

**6.1.B Walls**

Inspected

**6.2.B Floors**

Inspected

**6.3.B Doors**

Inspected, Maintenance / Monitor Recommended

Damaged bathroom door needs replacing.

**6.4.B Windows**

Inspected

**6.5.B Counters and Cabinets (representative number)**

Inspected

**6.6.B Sinks**

Inspected

**6.7.B Plumbing: Drain, Waste and Vent Systems**

Inspected

**6.8.B Plumbing: Water Supply lines, Valves, Faucets**

Inspected

**6.9.B Toilets: Bowls, Tanks, Lids**

Inspected

**6.10.B Toilets: Supply line, Shut-off valve and Flush and Fill Valve**

Maintenance / Monitor Recommended

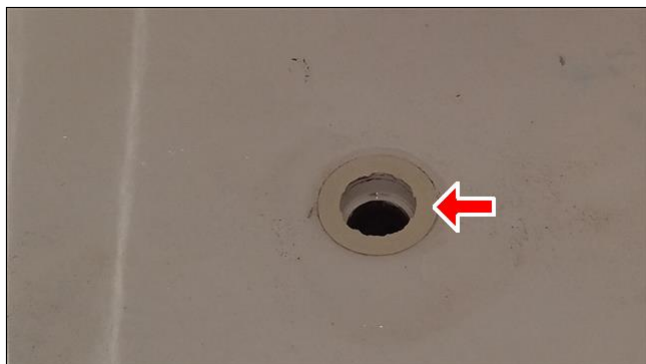


The toilet valve in the 3/4 bath bleeds off and causes the toilet to refill on an approximate 10 minute cycle. Recommend replacing valve.

**6.11.B Tubs & Shower pans**

*Inspected, Item of Concern*

The drain grate is missing from the shower in the 3/4 bath. Recommend installing new grate to prevent objects from entering drain line.

**6.12.B Tub and Shower Controls and Shower heads**

*Inspected*

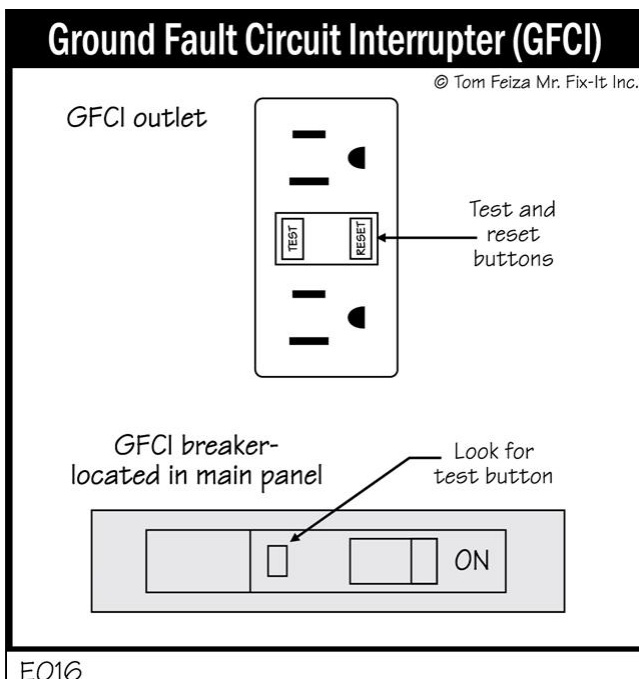
**6.13.B Tub and Shower enclosures**

*Inspected*

**6.14.B Outlets, Switches and Fixtures**

*Item of Concern*

GFI protected outlets are recommended in all bathrooms for safety purposes. Recommend repair by a qualified professional.



GFI protection

**6.15.B Caulking (Around sinks, Toilets, Tubs/ Showers/Surrounds, Backsplashes)**

Not Present

**6.16.B Exhaust fan**

Not Present

**6.17.B Heat Source Verified**

Not Present

**6(C) . Main Floor Full Bath**

**Styles & Materials**

<b>Floor:</b> Linoleum/Vinyl	<b>Bathroom Window(s):</b> Yes	<b>Exhaust Fans:</b> Fan only
<b>Tubs/ Shower pans:</b> Steel/ Cast Iron Tub	<b>Shower/ Tub Enclosures- Surrounds:</b> Plastic- Marlite- Mylar	<b>Bathroom Heat source:</b> None Visible

**Items**

- 6.0.C Ceiling**  
Inspected
- 6.1.C Walls**  
Inspected
- 6.2.C Floors**  
Inspected
- 6.3.C Doors**  
Inspected
- 6.4.C Windows**  
Inspected
- 6.5.C Counters and Cabinets (representative number)**  
Inspected
- 6.6.C Sinks**  
Inspected
- 6.7.C Plumbing: Drain, Waste and Vent Systems**  
Inspected
- 6.8.C Plumbing: Water Supply lines, Valves, Faucets**  
Inspected
- 6.9.C Toilets: Bowls, Tanks, Lids**  
Inspected
- 6.10.C Toilets: Supply line, Shut-off valve and Flush and Fill Valve**  
Inspected
- 6.11.C Tubs & Shower pans**  
Inspected
- 6.12.C Tub and Shower Controls and Shower heads**  
Maintenance / Monitor Recommended

Shower diverter valve does not operate properly. Recommend repair.



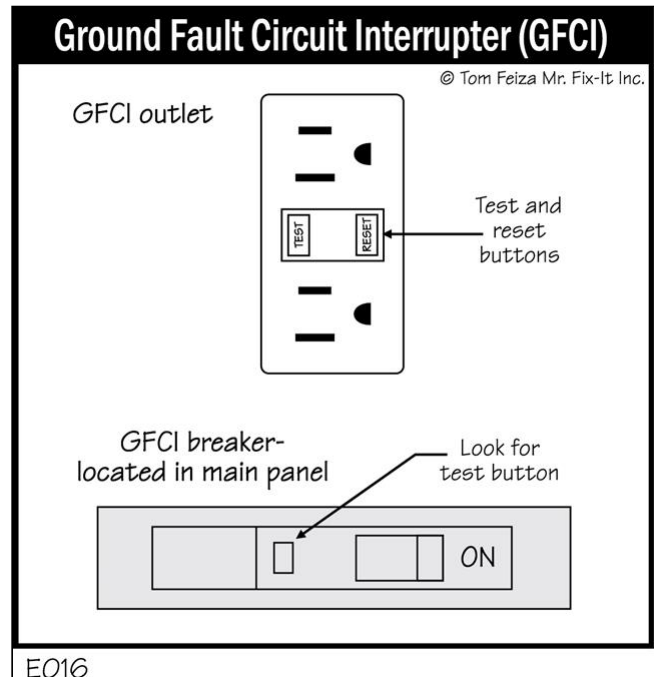
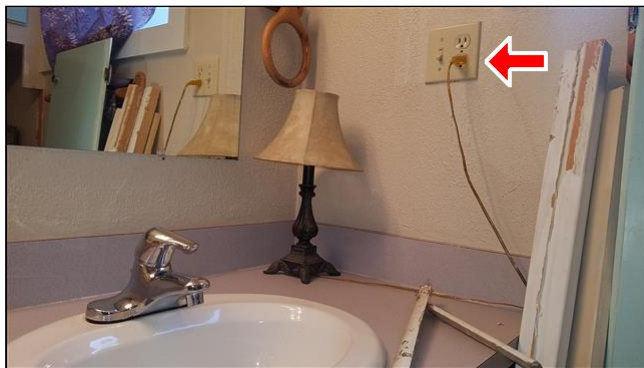
**6.13.C Tub and Shower enclosures**

Inspected

**6.14.C Outlets, Switches and Fixtures**

Item of Concern

GFI protected outlets are recommended in all bathrooms for safety purposes. Recommend repair by a qualified professional.



E016  
GFI protection

**6.15.C Caulking (Around sinks, Toilets, Tubs/ Showers/Surrounds, Backsplashes)**

Inspected

**6.16.C Exhaust fan**

Inspected

**6.17.C Heat Source Verified**

Not Present

**6(D) . 1/2 Bath**

**Styles & Materials**

**Floor:**  
Linoleum/Vinyl

**Bathroom Window(s):**  
No

**Exhaust Fans:**  
Fan only

**Bathroom Heat source:**  
None Visible

**Items**

**6.0.D Bathroom See Comment Below**

*Additional Information*

The half bath on the main floor is under construction at the time of the inspection. Half bath was not inspected. No determination is made it to the components.



**6.1.D Ceiling**

*Inspected*

**6.2.D Walls**

*Item of Concern*

Damaged walls needing repair.



**6.3.D Floors**

Inspected

**6.4.D Doors**

Inspected

**6.5.D Windows**

Not Present

**6.6.D Counters and Cabinets (representative number)**

Not Present

**6.7.D Sinks**

Not Inspected

Wall hung sink was not inspected no determination is made.



**6.8.D Plumbing: Drain, Waste and Vent Systems**

Not Inspected

**6.9.D Plumbing: Water Supply lines, Valves, Faucets**

Not Inspected

**6.10.D Toilets: Bowls, Tanks, Lids**

Not Present

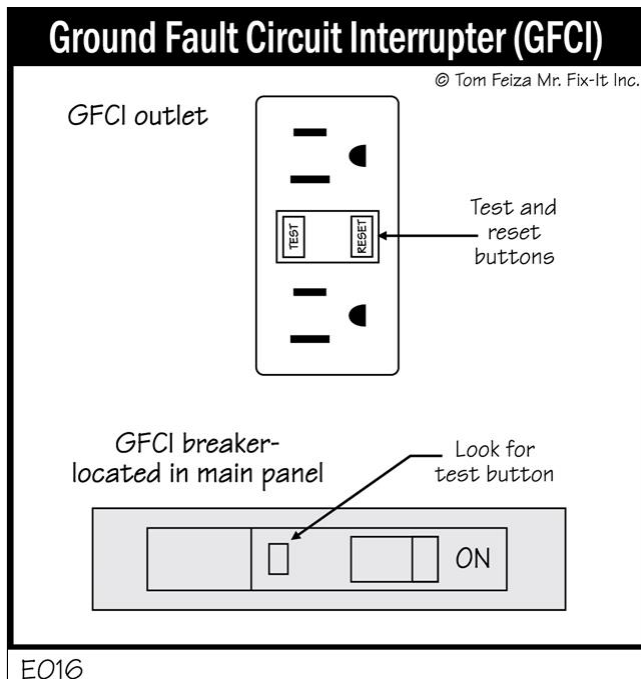
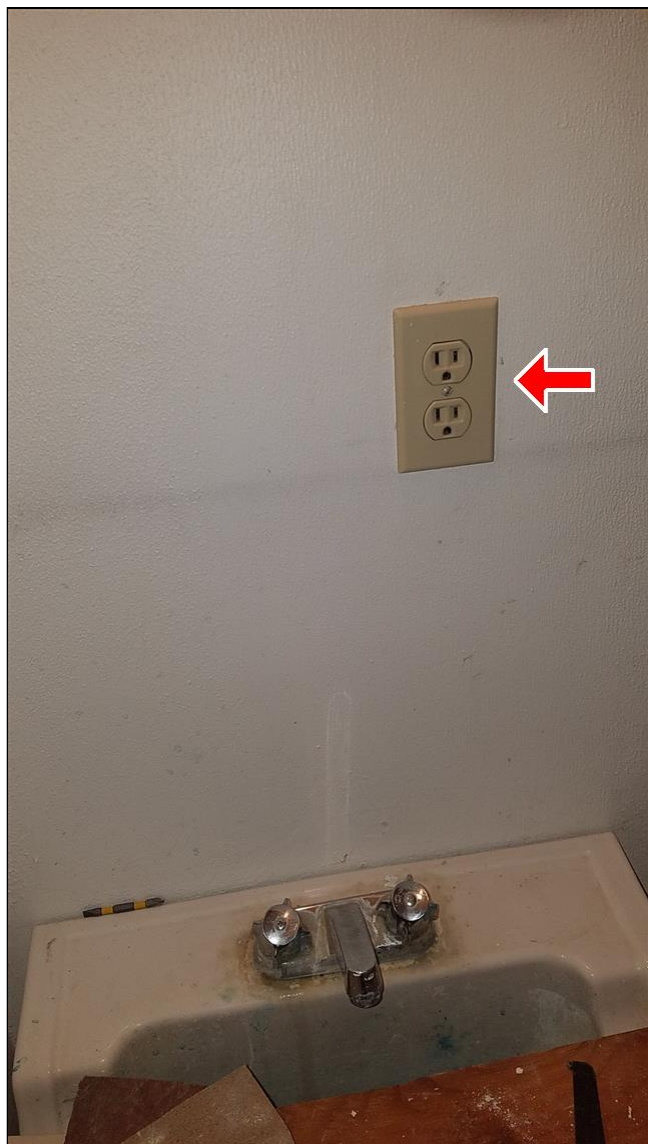
**6.11.D Toilets: Supply line, Shut-off valve and Flush and Fill Valve**

Not Present

**6.12.D Outlets, Switches and Fixtures**

Item of Concern

GFI protected outlets are recommended in all bathrooms for safety purposes. Recommend repair by a qualified professional.



GFI protection

**6.13.D Caulking (Around sinks, Toilets, Tubs/ Showers/Surronds, Backsplashes)**

Not Present

**6.14.D Exhaust fan**

Item of Concern

The fan did not operate at the time of the inspection. Recommend repair.



**6.15.D Heat Source Verified**

Not Present



## 7. Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

## Styles & Materials

### Floor Covering(s):

Area rug  
Carpet  
Unfinished  
Sloping  
Uneven  
Squeaking

### Interior Doors:

Hollow core

### Window Types:

Single-hung  
Sliders  
Fixed Glass ( non opening)

## Items

### 7.0 Ceilings

#### Maintenance / Monitor Recommended

Damaged ceilings throughout the house with possible organic growth indicating a moisture related problem.(ie: lack of ventilation, possible leak) Recommend further evaluation for needed repairs.



### 7.1 Walls

#### Maintenance / Monitor Recommended

Multiple areas of damaged walls throughout the house. Recommend repair as needed.

**7.2 Floors**

Inspected

**7.3 Doors (representative number)**

Inspected

**7.4 Window Operation (representative number)**

Inspected

**7.5 Outlets, Switches and Fixtures**

Inspected

---

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Interior Components

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

### Styles & Materials

**Window Structure / Storm windows not inspected:**

Single pane wood frame  
 Double pane  
 Metal  
 Vinyl

**Fireplace(s):**

Two

**Fireplace Type:**

Woodburning Stove

**Fireplace Location(s):**

Living Room  
 Kitchen/ Dining

**Ceiling Fan Locations:**

Living Room  
 Master Bedroom

### Items

**8.0 Steps, Stairways, Balconies and Railings**

Inspected

**8.1 Windows Structure & Stability (Material and seals)**

Inspected

**8.2 Ceiling Fans**

Inspected

**8.3 Fireplaces/ Hearths/ Mantels (Inspect Fireboxes and Dampers,Flues)**

Inspected

**8.4 Woodburning /Pellet Stoves ( Doors, Door Gaskets, Dampers, Fireplace Surrounds)**

Inspected, Not Inspected, Item of Concern

(1) The wood burning stove in the living room was not completely installed up at the time of the inspection. No determination is made.



(2) A non flammable surface should extend a minimum of 18 in from the front of the stove for safety purposes.



(3) There is a minimum clearance requirement between single wall stove pipes and flammable surfaces. Recommend consulting with a license HVAC contractor to insure proper clearance is met.



**8.5 Fireplace Blowers**

Not Inspected

**8.6 Smoke Detectors**

Inspected, Item of Concern

There are several smoke detectors mounted throughout the house.

Recommend installing smoke detectors throughout the house. One in each bedroom and in the common hallway is recommended.

Smoke detector batteries should be changed twice annually, typically this is done when the clocks move forward and back

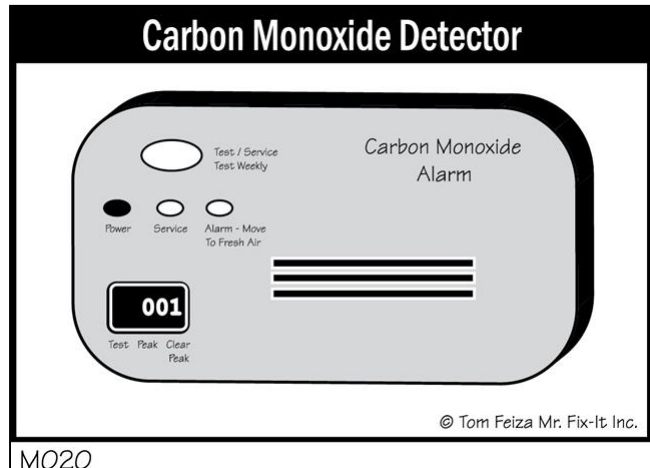


**8.7 CO (Carbon Monoxide) Detectors**

Inspected, Item of Concern

There was one visible carbon monoxide detector at the top of the stairs.

CO (Carbon Monoxide) detectors are recommended in all homes for safety purposes. There should be a CO detector on each floor (when applicable) and located in hallways outside of bedrooms..



MO20  
CO detector

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 9. Attic/ Roof System (Interior)

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

### Styles & Materials

**Attic info:**

Door  
 Located in/at  
 Hallway  
 Storage  
 No visible access to a portion of the attic  
 Top floor common room

**Method used to observe attic:**

From entry  
 Limited accessibility due to obstacles  
 Limited access to part of attic

**Roof Structure:**

2 X 4 Rafters  
 Plywood Sheathing  
 Planking

**Ventilation:**

None found

**Attic Insulation:**

Visible from access point  
 Batt  
 Fiberglass  
 R-19

**Bathroom Exhaust Fans:**

Not present

**Kitchen Exhaust Venting:**

Not present

### Items

**9.0 Attic See Comments Below**

**Additional Information**

Sections of attic were both finished as well as unfinished. Limited visibility in attic sections due to personal belongings being stored. Inspection refers to visible areas only. Sections of the attic were not accessible.





**9.1 Accessibility of Attic Access**

Inspected, Limited Visibility

**9.2 Roof Structure and Attic (Structural integrity of trusses, rafters and components)**

Inspected

**9.3 Roof Structure ( Moisture/ Condensation and related issues)**

Inspected

**9.4 Ventilation of Roof/Attic (Visual from Attic)**

Not Present

**9.5 Skylights, Chimneys and Roof Penetrations (Visual from Attic)**

Not Present

**9.6 Soffit baffles installed and functional**

Not Present

**9.7 Ventilation Fans and Thermostatic Controls in Attic**

Not Present

**9.8 Bathroom Exhaust Venting**

Not Present, Limited Visibility



**9.9 Kitchen Exhaust Venting**

Not Present

**9.10 Insulation in Attic**

Inspected

**9.11 Visible Electric Wiring in Attic**

Inspected

---

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 10. Crawlspace

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

### Styles & Materials

<b>Crawlspace type:</b> Full Crawlspace	<b>Crawlspace Access:</b> Exterior Hatch	<b>Method used to observe Crawlspace:</b> Crawled Pests Debris Obstructed
<b>Foundation Walls:</b> Masonry block	<b>Crawlspace Floor:</b> Dirt	<b>Columns or Piers:</b> Concrete/ Masonry piers Dry stacked rock or stone Wood piers Wood columns Wood beams
<b>Sub Floor Structure:</b> 2 X 10 Wood joists Planking Wood beams	<b>Crawlspace Insulation:</b> Between Floor Joists Batts	<b>Vapor Barrier:</b> Plastic No Vapor Barrier Present

### Items

**10.0 Foundation Walls- Structural (Report visible large cracks or signs of active movment)**

Inspected

**10.1 Foundation Walls- Moisture penetration (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)**

Inspected

**10.2 Piers/ Columns / Beams & Girders / Pony walls**

Item of Concern

Evidence of a wood destroying organism and failed beam due to the a wood destroying organism. Recommend further evaluation by license pest inspector and further evaluation by a licensed contractor for all needed repairs in the crawlspace.



**10.3 Floors (Visible floor of crawlspace)**

Item of Concern

Leftover debris and wood in crawlspace should be cleaned out to prevent possible WDO's



**10.4 Seismic Bolts**

Not Present

**10.5 Drainage ( Report Evidence of Moisture Damage or Standing water)**

Inspected

**10.6 Floor Joist ( Report broken, deteriorating, sagging or improperly altered floor joists)**

Item of Concern

Multiple floor joists have been improperly repaired and modified. Recommend further evaluation by a licensed contractor for needed needed repairs throughout the crawlspace and proceed as recommended.



**10.7 Subfloor (Indication of moisture stains/ rotting around shower stalls, tubs and toilets)**

Limited Visibility

**10.8 Insulation Under Floor System**

Item of Concern

Insulation is falling down in multiple areas in his being used as nesting material. Recommend further evaluation of entire crawlspace for all needed repairs.



**10.9 Vapor Barriers (in Crawlspace)**

Item of Concern

The vapor barrier is missing throughout the crawlspace and there is visible moisture in areas of the crawlspace. Recommend installing vapor barrier throughout the entire crawlspace to prevent moisture related problems.

**10.10 Ventilation of Foundation Areas**

Not Present, Limited Visibility

**10.11 Visible Electrical Wiring**

Limited Visibility

---

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 11. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

### Styles & Materials

**Water Source:**

Public

**Main Water Shut-off Location:**

Crawlspace

**Main Fuel Shut-Off Location:**

East side of house

**Plumbing Water Supply (into home):**

Not visible

**Pressure Reducer:**

Not Visible

**Plumbing Water Distribution (Visible/ Inside Home):**

Galvanized  
Copper  
PEX  
Limited Visibility

**Plumbing Waste/ Drain line ( Visible Drain Lines):**

Cast iron  
ABS

**Water Heater Location:**

Bathroom  
Closet

**Water Heater Power Source:**

Electric

**Water Heater Capacity:**

(2)  
40 Gallon  
50-52 Gallon

**WH Manufacturer:**

RHEEM

**Water Heater Approx. Age:**

6-8 Years

**Water Temperature Tested:**

Yes  
Between 115-120 Degrees

**Fuel line:**

Black Iron

### Items

**11.0 Main Water Shut-off Device**

Limited Visibility

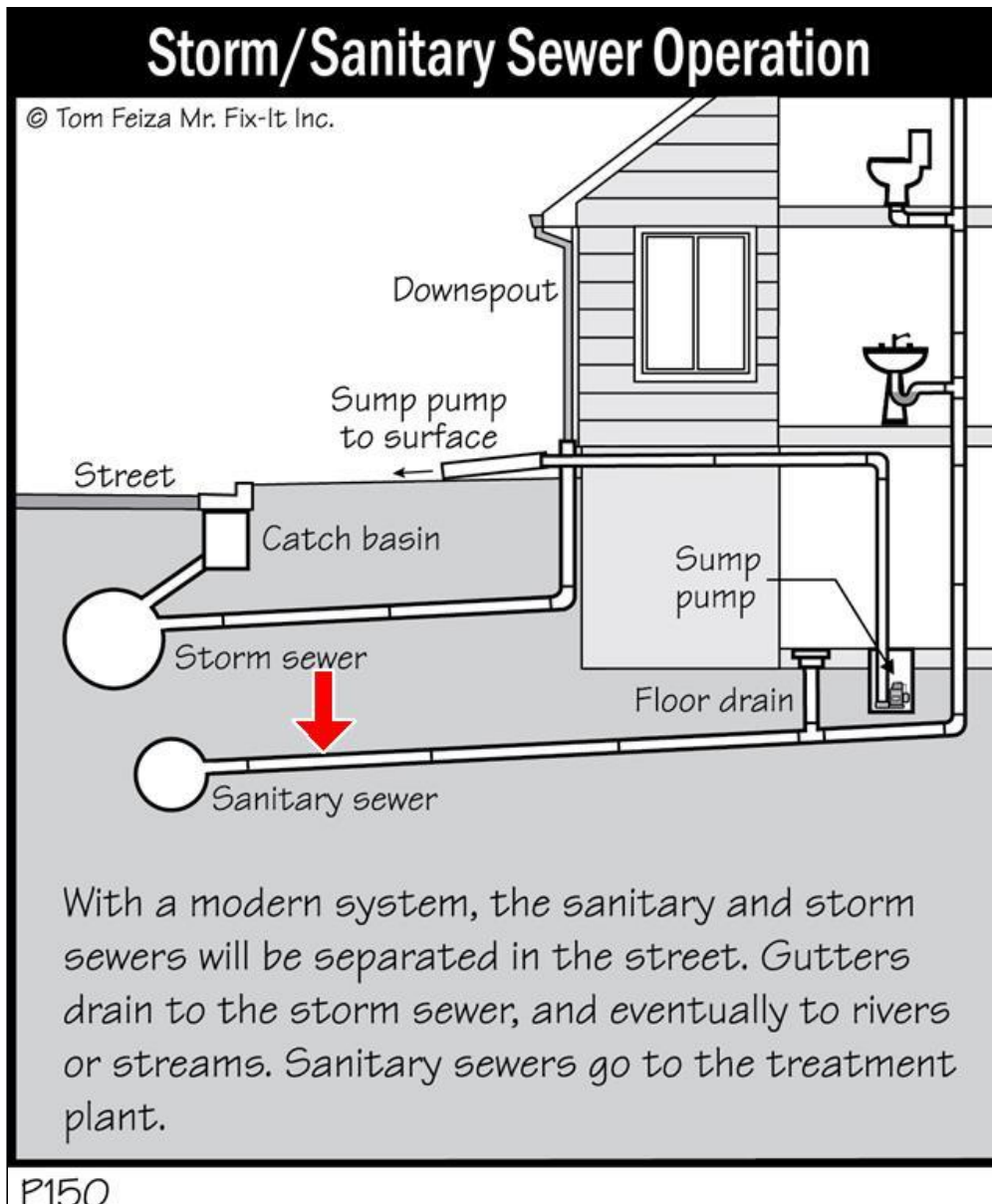
**11.1 Plumbing Water Supply, Distribution System and Fixtures**

Inspected, Limited Visibility

**11.2 Plumbing Drain, Waste and Vent Systems**

Inspected, Limited Visibility, Item of Concern

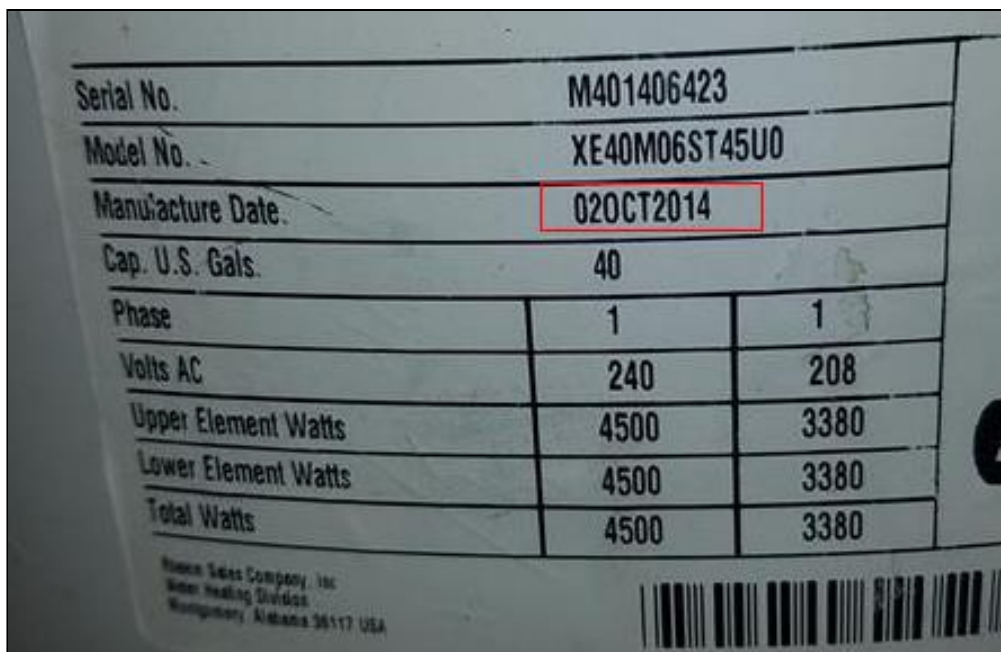
Due to the age of the home recommendation is to have main sewer line scoped to determine material and stability of the line.



**11.3 Hot Water Systems, Controls, Chimneys, Flues and Vents**

Inspected

(1) Water heater data plate located in bathroom

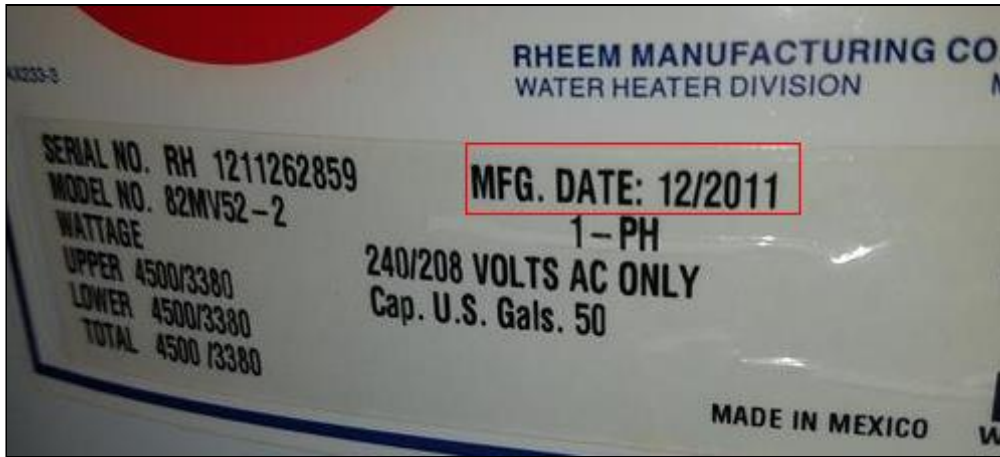


(2) Drip pans have been required below water heaters since 2012. Recommend installing drip pan. Water heater in bathroom.





(3) Water heater data plate : upstairs closet.



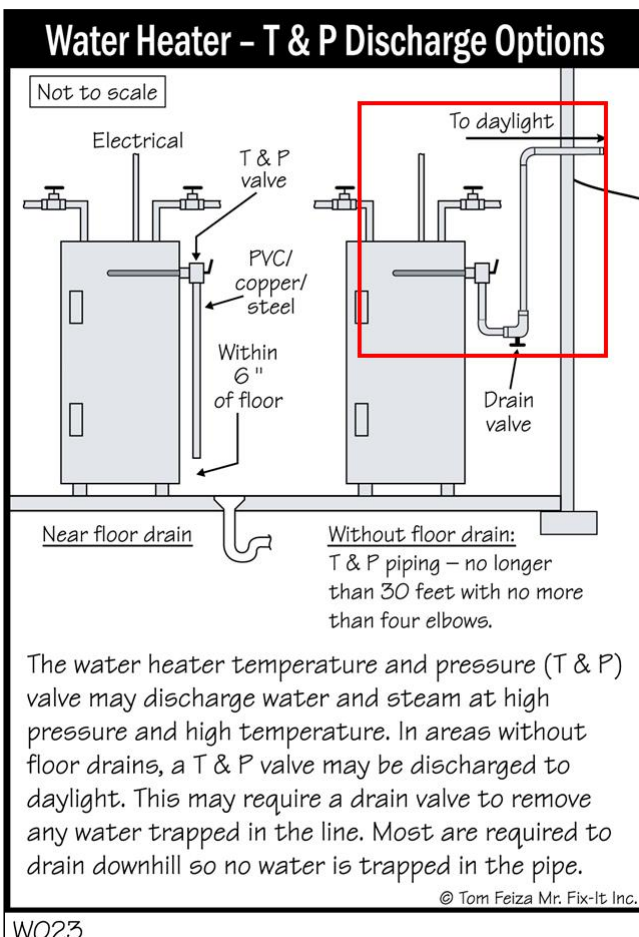
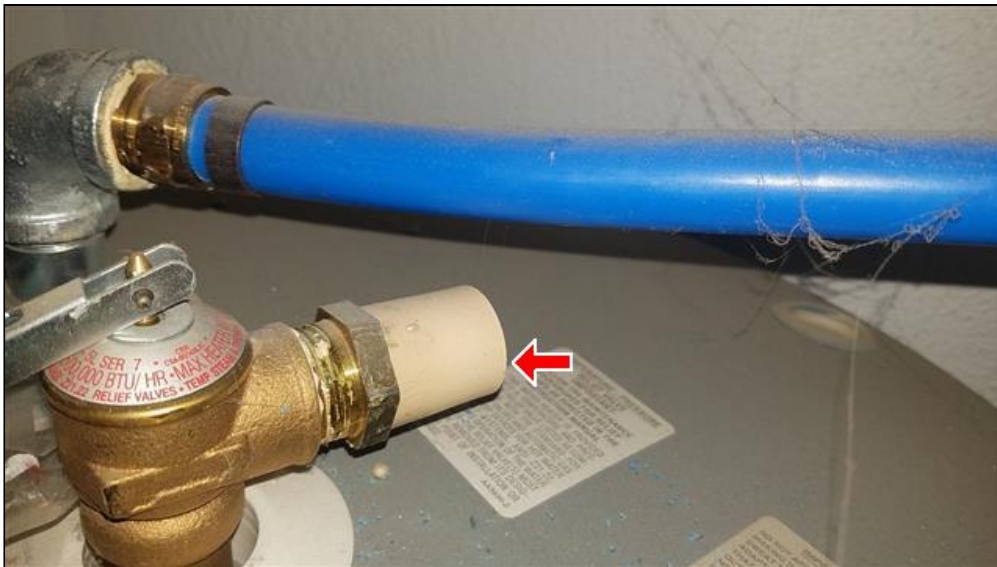
**11.4 TPR Valve and Extension (Temp., Pressure Relief)**

**Item of Concern**

The TPR valve extension is missing or too short. Code requires that the extension extends to no more than 6 inches above the floor. The desired location is for the line to extend to a floor drain if accessible or to the exterior of the home.

Both water heaters.





T & P options

**11.5 Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)**

Not Inspected

**11.6 Sump Pump**

Not Present

**11.7 Main Fuel Shut-off**

Inspected

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 12. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

### Styles & Materials

**Electrical Service**

**Conductors:**

Overhead service  
Aluminum  
220 volts

**Panel Type:**

Split Buss Panel

**Wiring Methods:**

Romex  
Cloth Wrapped

**Main Electrical Panel**

**Location:**

Interior Wall

**Electric Panel Manufacturer:**

ZINSCO/ SYLVANIA

**Panel Capacity:**

200 AMP  
Adequate

**Branch wire 15 and 20**

**AMP:**

Solid core copper

### Items

**12.0 Service Entrance Conductors**

Inspected

**12.1 Service and Grounding Equipment, Main Breaker(s), Main Service Panel(s)**

Inspected

**12.2 Electrical Sub-panels and overload protection devices. Report on compatibility of breaker to wire size and isolated ground and neutral wires.**

Inspected

**12.3 Branch Circuit Conductors, Overcurrent Devices and their Compatibility**

Item of Concern

Sylvania/ Zinsco electrical panels are obsolete and a potential safety hazard. Recommend further evaluation by a licensed electrician and proceed as recommended.

For further information go to: <http://www.ismypanelsafe.com/zinsco.php>



**12.4 Connected Devices and Fixtures (Observed from a representative number operation of, lighting fixtures, switches and receptacles located inside the house)**

Inspected

**12.5 Operation of GFCI (Ground Fault Circuit Interrupters) Breakers**

Not Present

**12.6 Operation of AFCI (ARC Fault Circuit Interrupters) Breakers**

Not Present

---

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

### 13. Heating System(s)

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

### Styles & Materials

**Heat Type:**

Electric Baseboard Heaters  
 Electric Wall Heaters  
 Gas Wall Heater

**Aux. - Emergency Heat for Heat pump system:**

None

**Energy Source:**

Gas-Natural/  
 Propane  
 Electric

**Number of Heating Systems (central systems only):**

One

**Furnace- Heating System Approximate Age:**

31+ Years

**Visible Ductwork:**

N/A

**Filter Location:**

N/A

### Items

**13.0 Heating Equipment**

Inspected, Item of Concern



The gas wall heater did not operate at the time of the inspection. Recommend further evaluation by licensed HVAC technician.

**13.1 Normal Operating Controls (Thermostats)**

Inspected

**13.2 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)**

Not Present

**13.3 Presence of Installed Heat Source in Each Room**

Not Present

**13.4 Chimneys, Flues and Vents for heat systems other than solid fuel**

Limited Visibility

**13.5 Combustion air intake ( Sufficient air for proper operation)**

Inspected

---

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 14. A/C System(s)

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

### Styles & Materials

**Cooling Equipment Type:**

Window / Wall AC (Not Inspected)

**Cooling Equipment Energy**

**Source:**  
Electricity

**A/C Condenser Approx.**

**Age:**  
N/A

### Items

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## SUMMARY 1 (Items of Concern and Potential Safety Issues)



**P.O.Box 703  
Lewiston Idaho 83501  
208.791.5933**

**Customer**  
Inhi Customer

**Address**  
123 N Anystreet  
Any Town ID 99999

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

### 1. Grounds

#### 1.0 Sidewalks/ Service Walks

##### Item of Concern

The sidewalk on the back of the house has settled creating a negative grade towards the house. This is allowing water to flow towards house and entering the crawlspace. Recommend further evaluation by licensed contractor to correct grade and proceed as recommended.



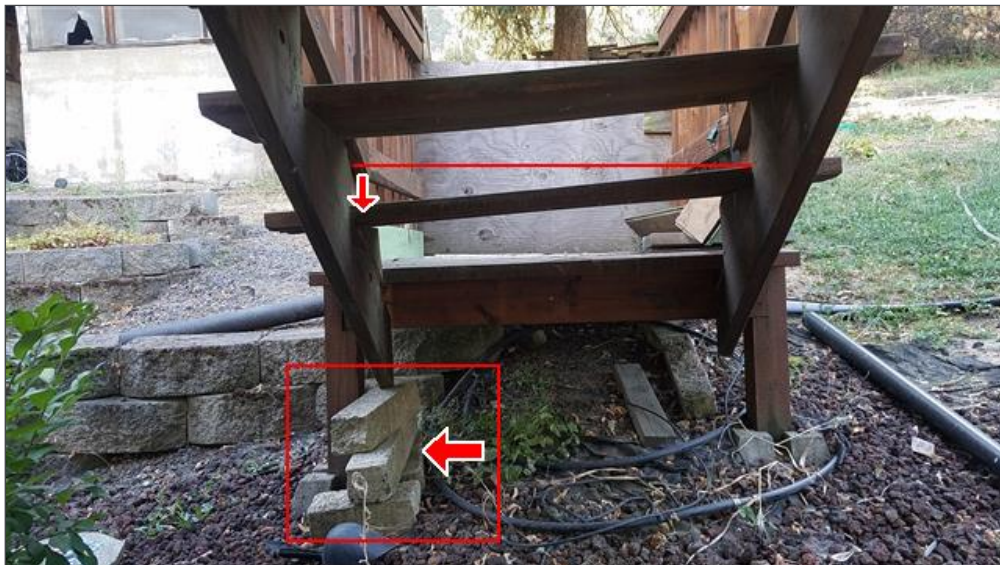
**1.1 Steps/ Stoops/ Ramps and Applicable Railings**

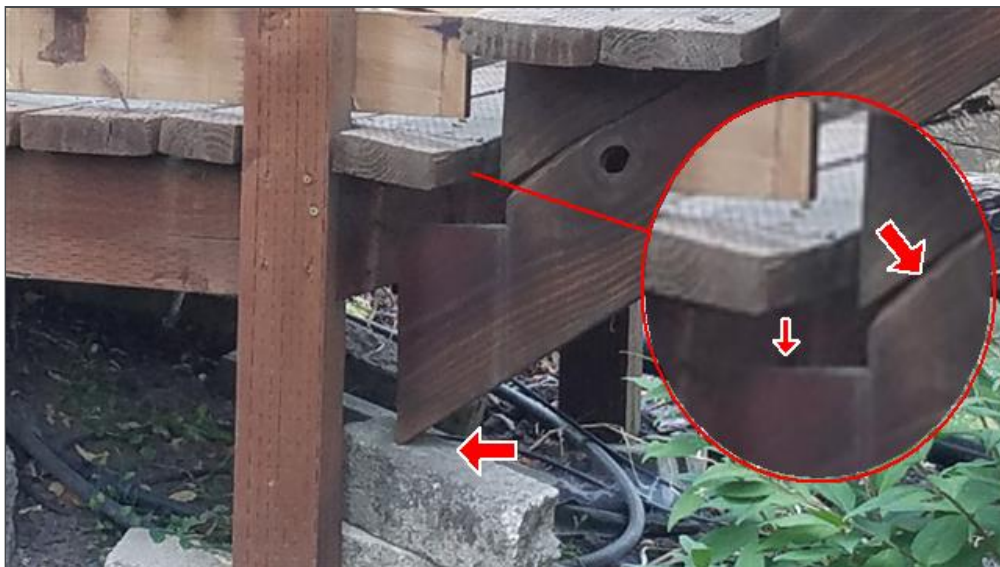
**Item of Concern**

(1) The wood steps to the front door show signs of wood rot and deterioration, as well as loose planking. This is creating a potential safety hazard. Recommend rebuilding steps for safety purposes.



(2) Back steps to upper deck are failing and are a safety hazard. Recommend rebuilding steps properly prior to use.





### 1.2 Patios and Applicable Railings

#### Inspected, Item of Concern

Deteriorating brick and sand patios creating multiple trip hazards. Recommend repair as needed.



### 1.3 Decks, Porches, Balconies and Applicable Railings

#### Item of Concern

Both upper and lower decks are not properly attached to the house. Deck ledgers should be attached with 1/2 lag bolts on 2 ft centers. Further evaluation for needed repairs by a licensed contractor is recommended.



## 2. Exterior

### 2.0 Roof Drainage Systems (Gutters/Downspouts)

#### Item of Concern

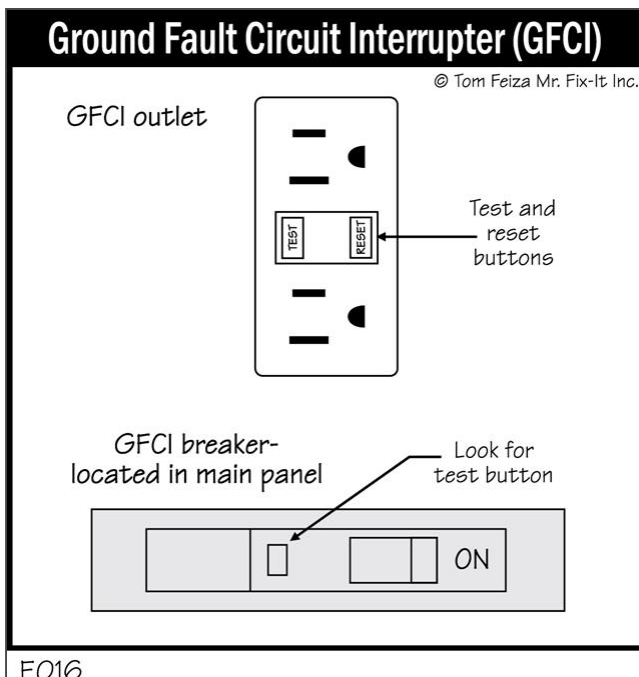
Recommend installing gutters with proper downspouts around the entire house in order to prevent unwanted moisture from entering crawlspace.



### 2.10 Exterior Outlets (Correct polarity & Grounding -GFI protected- Weatherproof covers)

#### Item of Concern

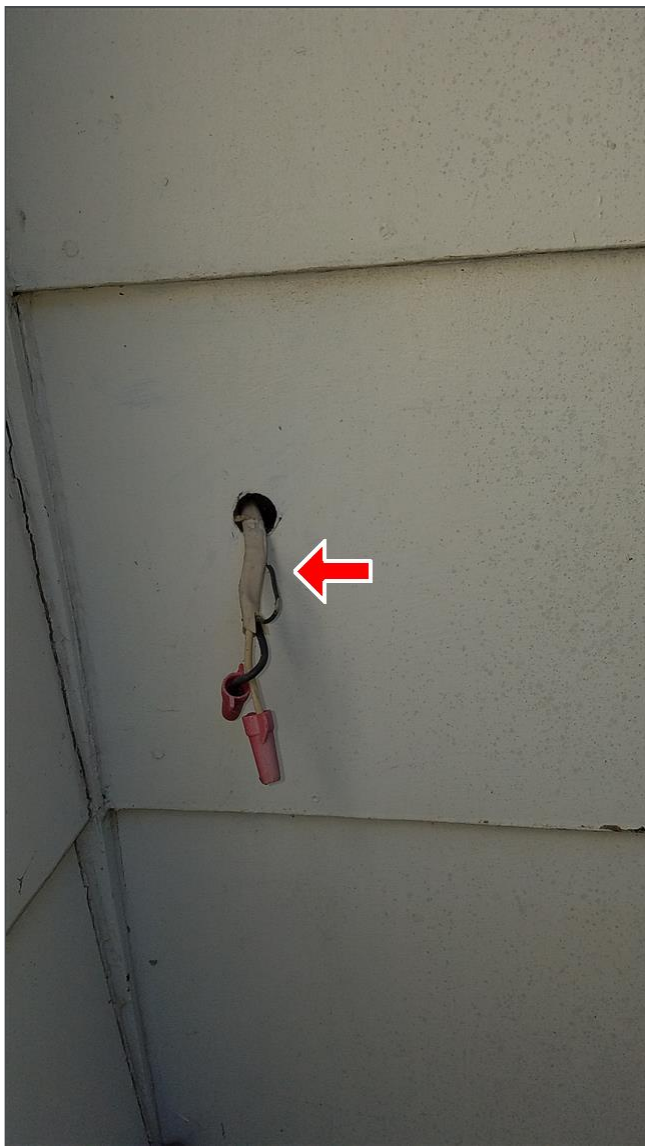
(1) All exterior outlets should be GFI protected for safety purposes. Recommend installing GFI protection for exterior outlets. ( Either GFI outlets or breaker)



GFI Breaker/ outlet

(2) All electrical wiring should be installed in a junction box of proper cover for safety purposes.





### 3. Roof System (Exterior)

#### 3.0 Roof Coverings

**Inspected, Item of Concern, Maintenance / Monitor Recommended, Deffered cost item**

(1) Improperly lapped shingles on roof. Recommend further evaluation by license roofer for all needed repairs.



(3) Broken and missing shingles, excessive granule loss and cracking are all indications that the roof is nearing the end of its typical lifespan. Repairs may be needed within the next 5 years.





**3.1 Flashings ( Roof Edge & Wall & Counter Flashing)**

**Item of Concern**

The drip edge is separating from the fascia in multiple sections of the roof. The drip edge prevents water from wicking up the sheathing creating wood rot and possible mold related issues. Recommend further evaluation by a licensed roofer for all needed repairs and proceed as recommended



**3.3 Plumbing Vent Flashings**

**Item of Concern**

Two plumbing vent flashing Have failed and require replacing. Recommend repair by a qualified professional



**3.5 Class B Vents (Stove Pipes) / Furnace Exhaust Vents (PVC) & Flashings**

**Item of Concern**

Rain cap /spark arrestor is missing from stove pipe. Recommend repair for safety purposes.

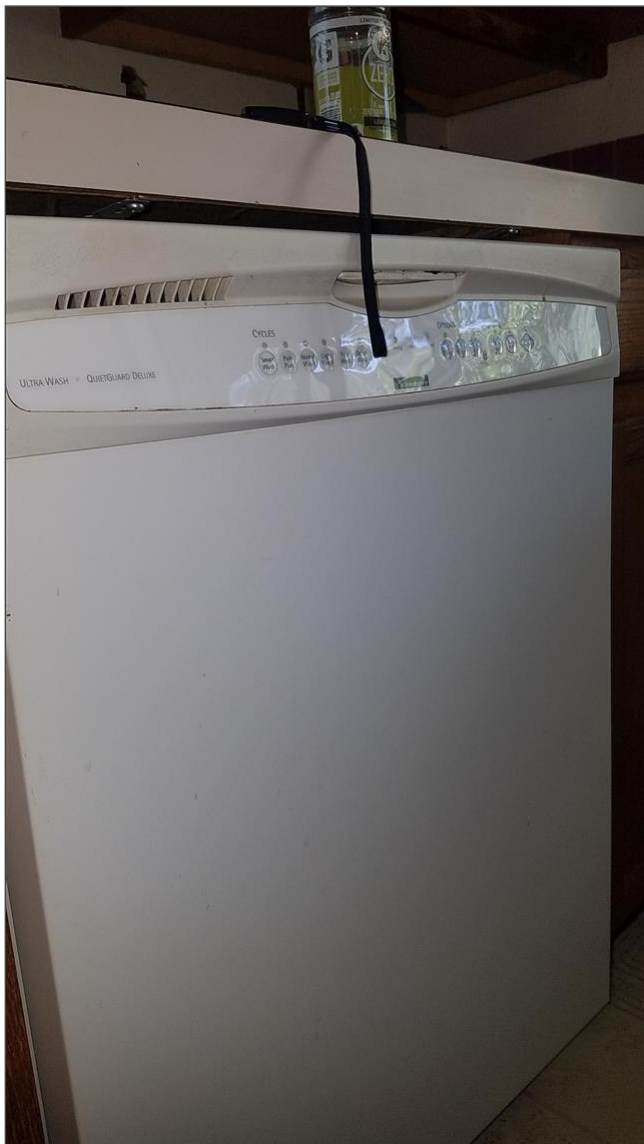


## 4. Kitchen Components and Appliances

### 4.9 Dishwasher

#### Not Inspected, Item of Concern

The dishwasher did not operate at the time of the inspection. No determination is made.



### 4.11 Food Waste Disposer

#### Item of Concern

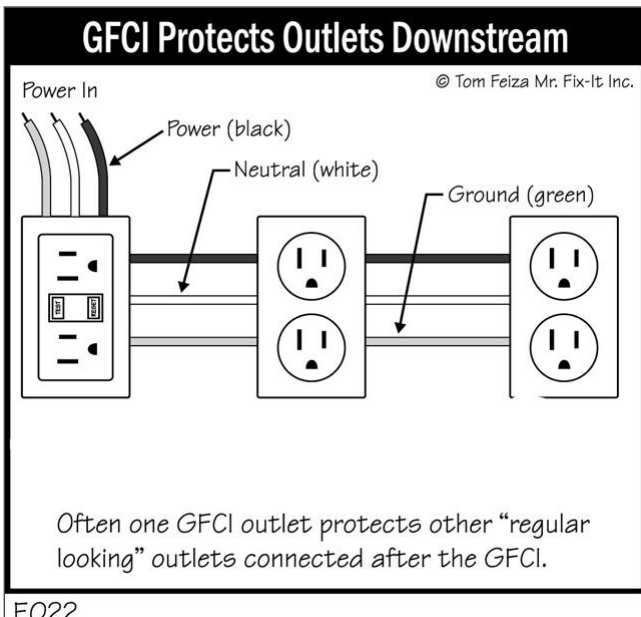
The garbage disposal was sitting in the cabinet and not hooked up. No determination is made.



**4.16 Outlets (Correct polarity and Grounding) GFI's where needed**

**Item of Concern**

All Outlets within 6 feet of the kitchen sink should be GFI protected for safety purposes. Recommend further evaluation and repair by a licensed and qualified professional.



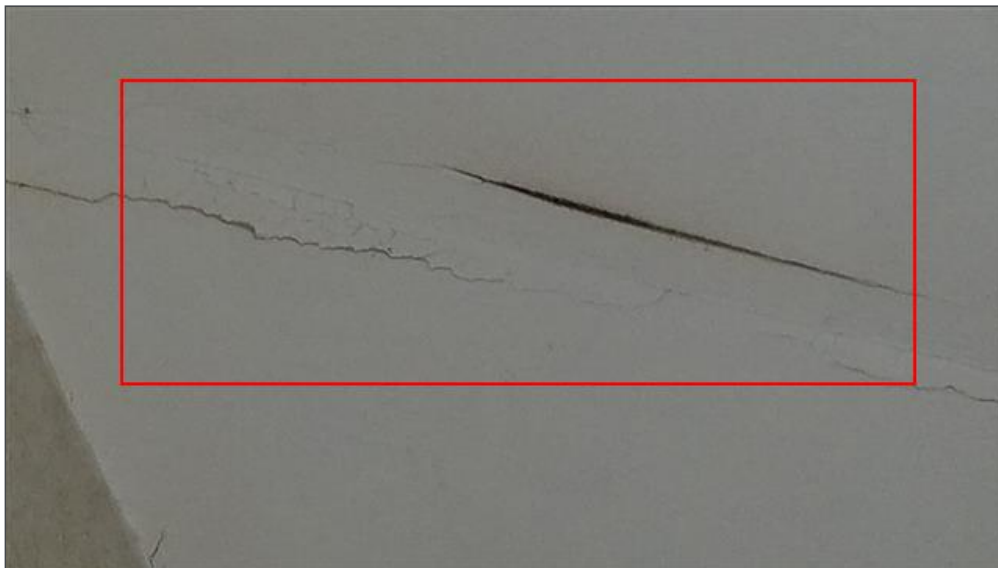
E022  
Daisy chain GFI

## 6(A) . Master Bath

### 6.0.A Ceiling

#### Item of Concern

Visible moisture damage on the ceiling due to lack of ventilation. Recommend further evaluation and repair.



### 6.17.A Whirlpool Tub (access door present)

#### Item of Concern

There is no visible access door to the whirlpool tub equipment. Recommend installing access door for servicing purposes.

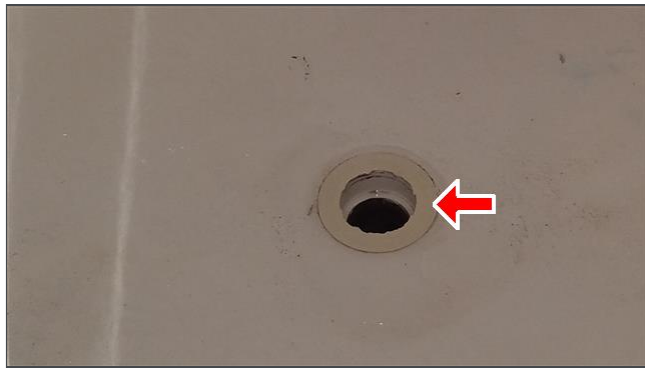


## 6(B) . Top Floor 3/4 Bath

### 6.11.B Tubs & Shower pans

#### Inspected, Item of Concern

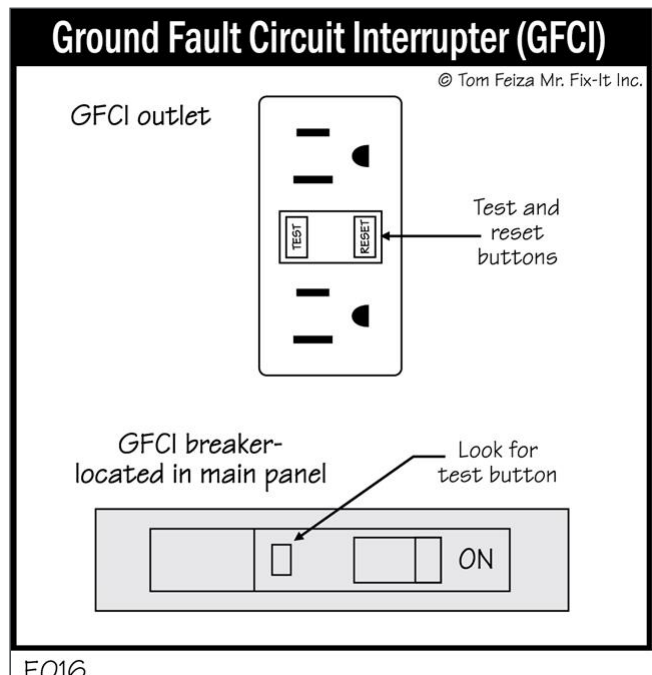
The drain grate is missing from the shower in the 3/4 bath. Recommend installing new grate to prevent objects from entering drain line.



6.14.B Outlets, Switches and Fixtures

Item of Concern

GFI protected outlets are recommended in all bathrooms for safety purposes. Recommend repair by a qualified professional.



E016  
GFI protection

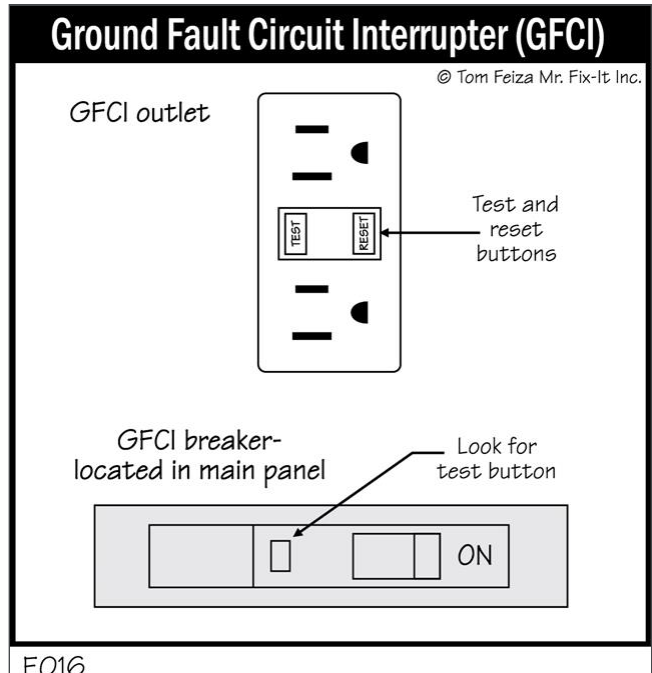
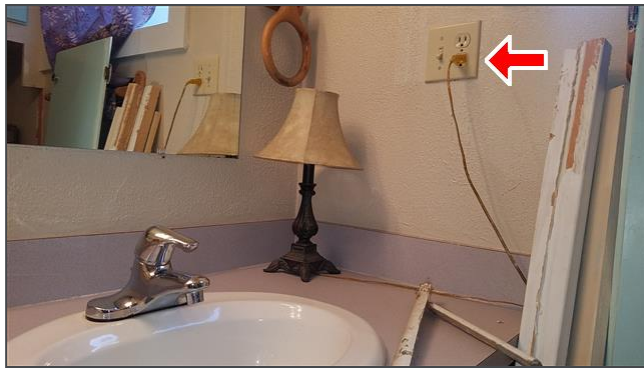
6(C) . Main Floor Full Bath

6.14.C Outlets, Switches and Fixtures

Item of Concern

GFI protected outlets are recommended in all bathrooms for safety purposes. Recommend repair by a qualified professional.





E016  
GFI protection

## 6(D) . 1/2 Bath

### 6.2.D Walls

#### Item of Concern

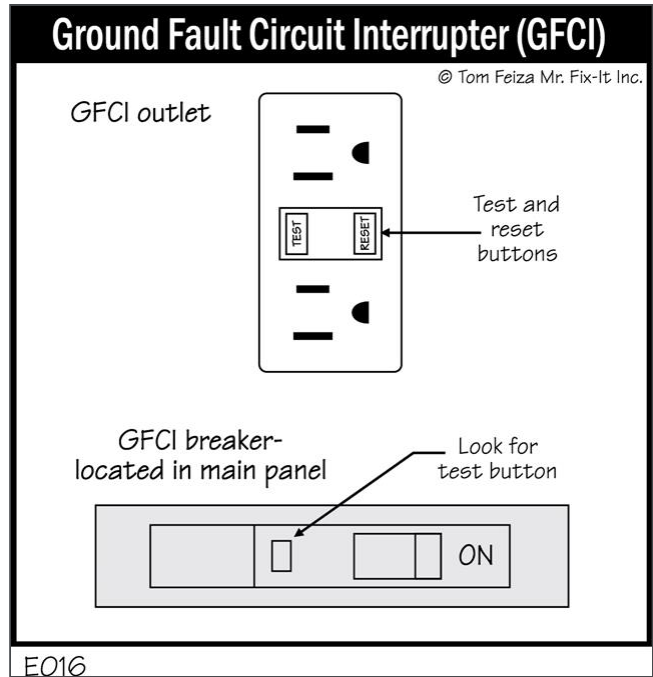
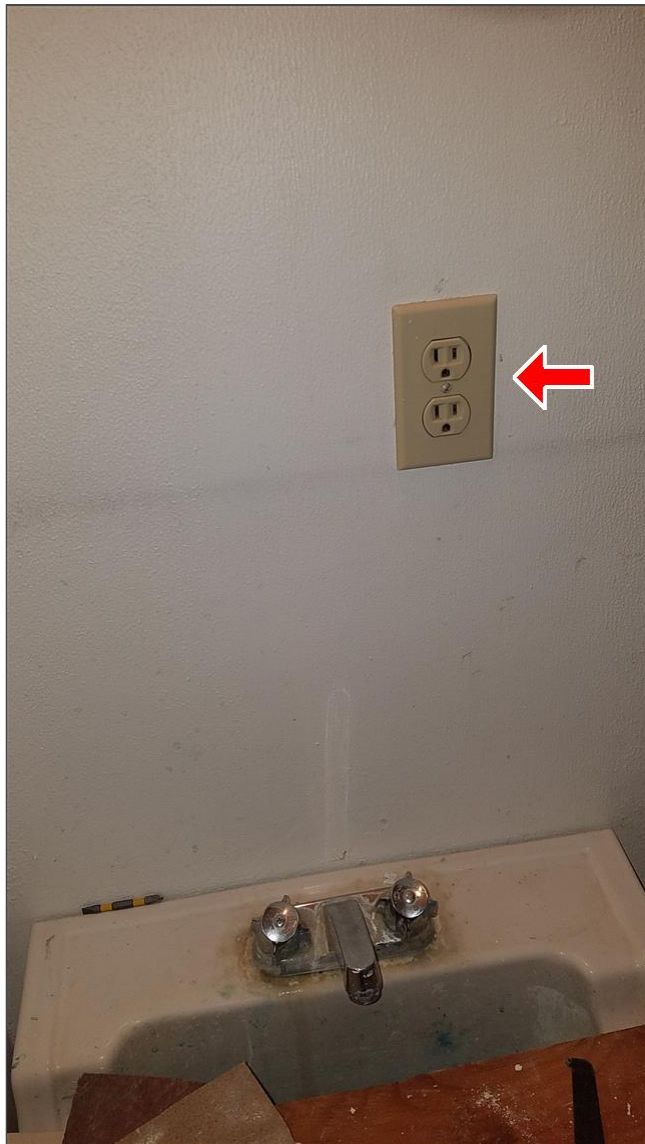
Damaged walls needing repair.



### 6.12.D Outlets, Switches and Fixtures

#### Item of Concern

GFI protected outlets are recommended in all bathrooms for safety purposes. Recommend repair by a qualified professional.



E016  
GFI protection

**6.14.D Exhaust fan**

**Item of Concern**

The fan did not operate at the time of the inspection. Recommend repair.



**8. Interior Components**

**8.4 Woodburning /Pellet Stoves ( Doors, Door Gaskets, Dampers, Fireplace Surrounds)**

**Inspected, Not Inspected, Item of Concern**

(2) A non flammable surface should extend a minimum of 18 in from the front of the stove for safety purposes.



(3) There is a minimum clearance requirement between single wall stove pipes and flammable surfaces. Recommend consulting with a license HVAC contractor to insure proper clearance is met.



**8.6 Smoke Detectors**

**Inspected, Item of Concern**

There are several smoke detectors mounted throughout the house.

Recommend installing smoke detectors throughout the house. One in each bedroom and in the common hallway is recommended.

Smoke detector batteries should be changed twice annually, typically this is done when the clocks move forward and back

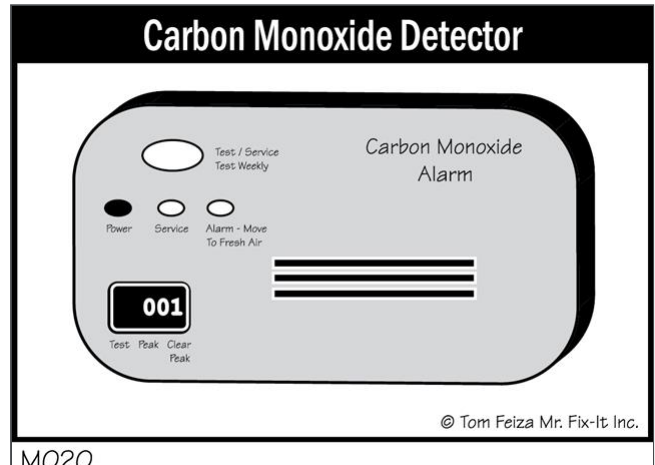


**8.7 CO (Carbon Monoxide) Detectors**

**Inspected, Item of Concern**

There was one visible carbon monoxide detector at the top of the stairs.

CO (Carbon Monoxide) detectors are recommended in all homes for safety purposes. There should be a CO detector on each floor (when applicable) and located in hallways outside of bedrooms..



M020  
CO detector

**10. Crawlspace**

**10.2 Piers/ Columns / Beams & Girders / Pony walls**

**Item of Concern**

Evidence of a wood destroying organism and failed beam due to the a wood destroying organism. Recommend further evaluation by license pest inspector and further evaluation by a licensed contractor for all needed repairs in the crawlspace.



**10.3 Floors (Visible floor of crawlspace)**

**Item of Concern**

Leftover debris and wood in crawlspace should be cleaned out to prevent possible WDO's



**10.6 Floor Joist ( Report broken, deteriorating, sagging or improperly altered floor joists)**

**Item of Concern**

Multiple floor joists have been improperly repaired and modified. Recommend further evaluation by a licensed contractor for needed repairs throughout the crawlspace and proceed as recommended.



### 10.8 Insulation Under Floor System

#### Item of Concern

Insulation is falling down in multiple areas in this being used as nesting material. Recommend further evaluation of entire crawlspace for all needed repairs.



### 10.9 Vapor Barriers (in Crawlspace)

#### Item of Concern

The vapor barrier is missing throughout the crawlspace and there is visible moisture in areas of the crawlspace. Recommend installing vapor barrier throughout the entire crawlspace to prevent moisture related problems.



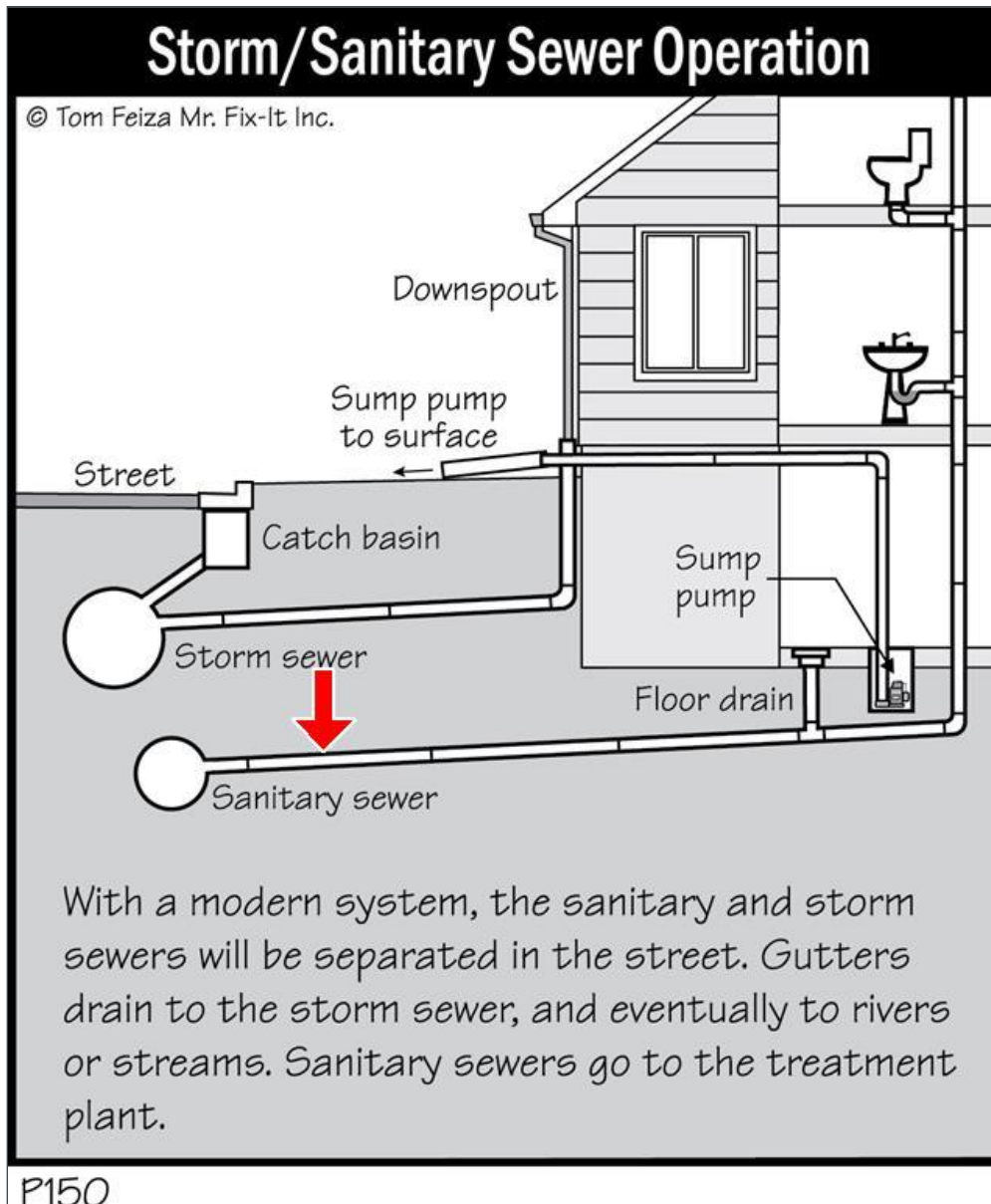
## 11. Plumbing System

### 11.2 Plumbing Drain, Waste and Vent Systems

**Inspected, Limited Visibility, Item of Concern**

Due to the age of the home recommendation is to have main sewer line scoped to determine material and stability of the line.





### 11.3 Hot Water Systems, Controls, Chimneys, Flues and Vents

#### Inspected

(2) Drip pans have been required below water heaters since 2012. Recommend installing drip pan.

Water heater in bathroom.

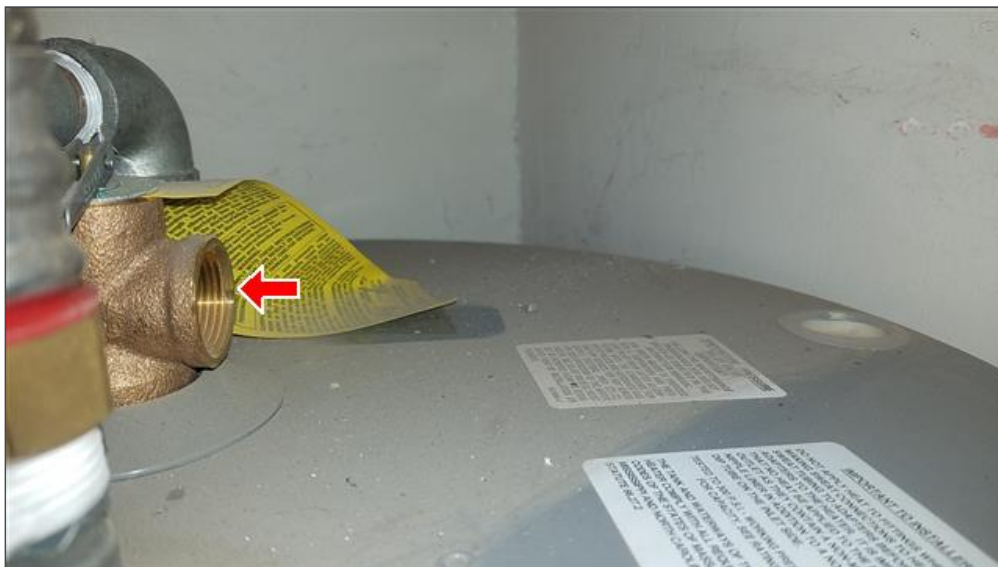


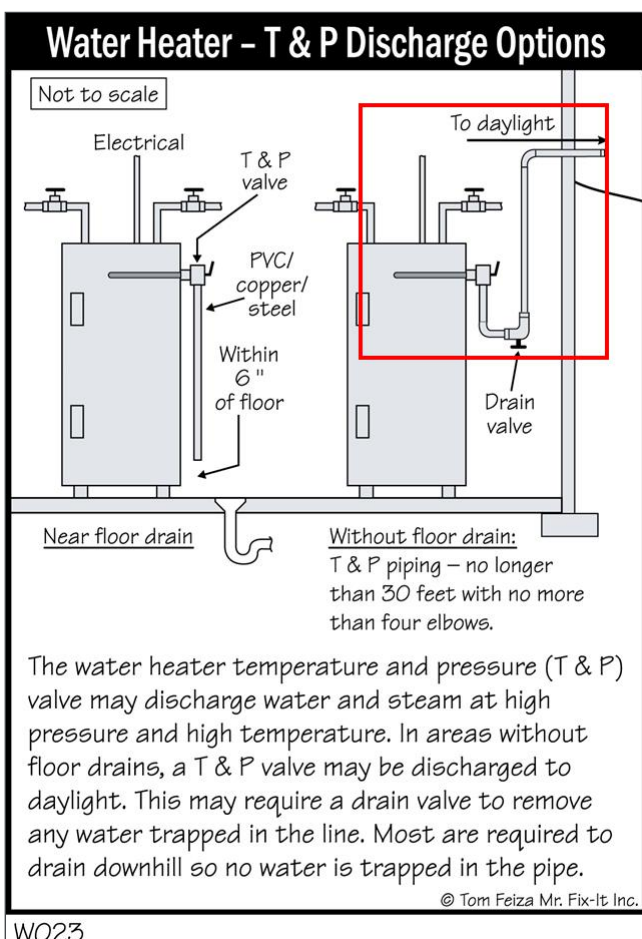
**11.4 TPR Valve and Extension (Temp., Pressure Relief)**

**Item of Concern**

The TPR valve extension is missing or too short. Code requires that the extension extends to no more than 6 inches above the floor. The desired location is for the line to extend to a floor drain if accessible or to the exterior of the home.

Both water heaters.





T & P options

## 12. Electrical System

### 12.3 Branch Circuit Conductors, Overcurrent Devices and their Compatibility

#### Item of Concern

Sylvania/ Zinsco electrical panels are obsolete and a potential safety hazard. Recommend further evaluation by a licensed electrician and proceed as recommended.

For further information go to: <http://www.ismypanelsafe.com/zinsco.php>



## 13. Heating System(s)

### 13.0 Heating Equipment

#### Inspected, Item of Concern

The gas wall heater did not operate at the time of the inspection. Recommend further evaluation by licensed HVAC technician.



Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

*Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Chip Kenny*

## SUMMARY 2 (Maintenance/ Monitor Items/ Deferred Cost Items)



**P.O.Box 703  
Lewiston Idaho 83501  
208.791.5933**

**Customer**  
Inhi Customer

**Address**  
123 N Anystreet  
Any Town ID 99999

The Items in this summary are showing signs of aging or typical age related issues. Items in this summary will be noted individually if maintenance is needed at this time or if monitoring for future maintenance is recommended. Typically items in this category do not require a licensed or certified repair person or contractor. Items listed here can be performed by the home owner (depending on skill level) or by a qualified handy man.

## 2. Exterior

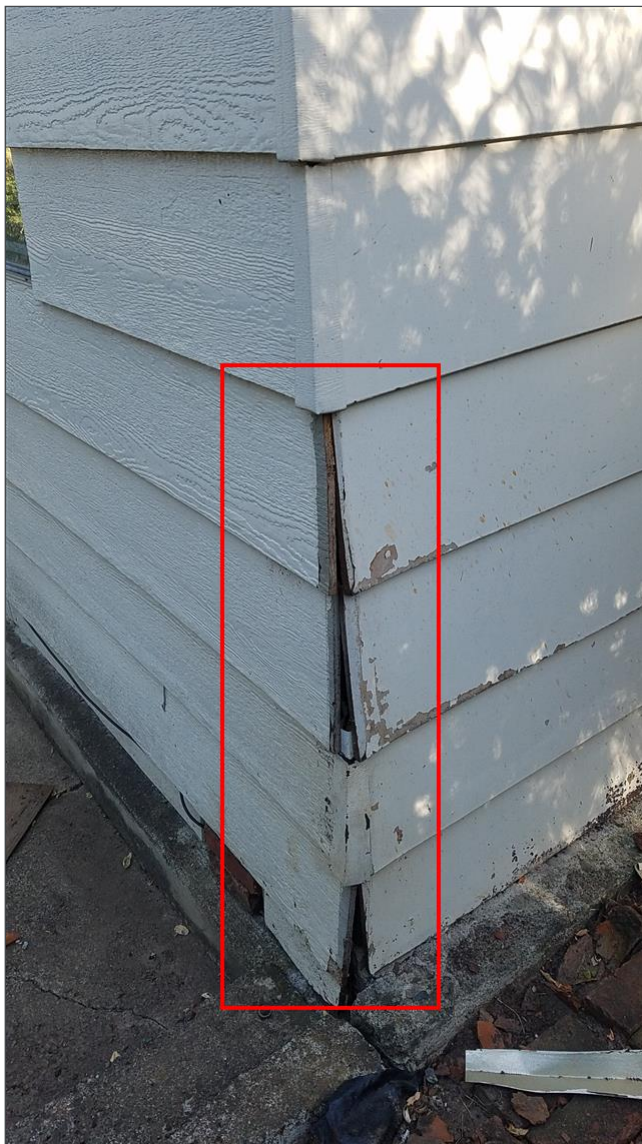
### 2.1 Siding

#### **Inspected, Maintenance/ Monitoring Recommended**

The siding is an overall satisfactory condition with typical maintenance and minor repairs required. Recommend repair as needed, prep and paint/ stain in order to prevent deterioration of the siding. This type of siding is very susceptible to moisture penetration if not properly maintained.







**2.2 Soffit/ Fascia/ Flashing**

**Inspected, Maintenance/ Monitoring Recommended**

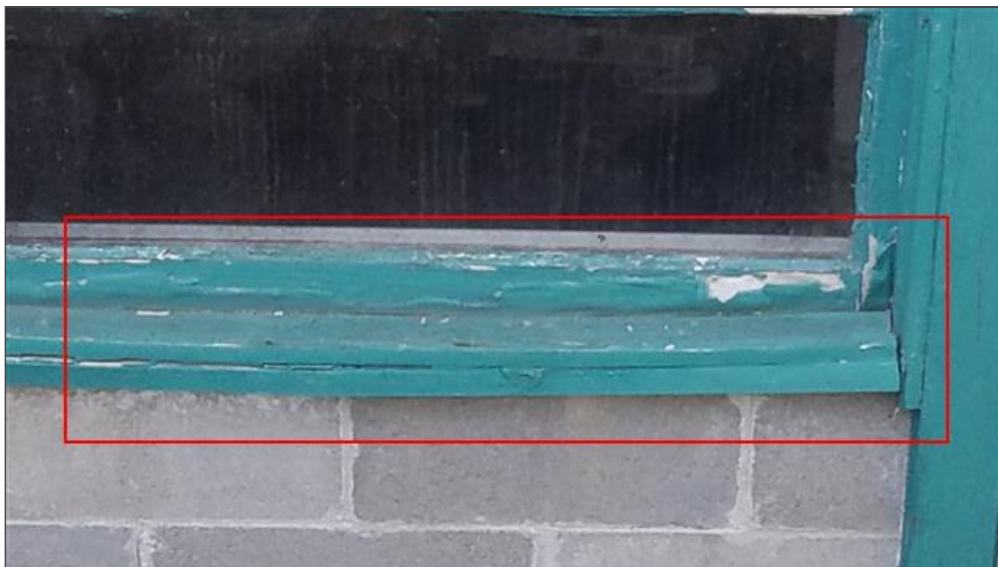
Multiple areas of damaged soffit and fascia. Recommend repair as needed, prep and paint..



**2.4 Window, Door & Corner Trim**

**Inspected**

Areas of door, window and / or corner trim that shows signs of wood rot and deterioration due to lack of maintenance. Recommend repairing trim as needed, prep and paint to prevent further deterioration.



### 3. Roof System (Exterior)

#### 3.0 Roof Coverings

**Inspected, Item of Concern, Maintenance / Monitor Recommended, Deffered cost item**

(2) Cleaning moss from the roof is recommended in order to extend the lifespan of the covering, DO NOT PRESSURE WASH as this will damage the shingles. Use a rough surface push broom for best results.

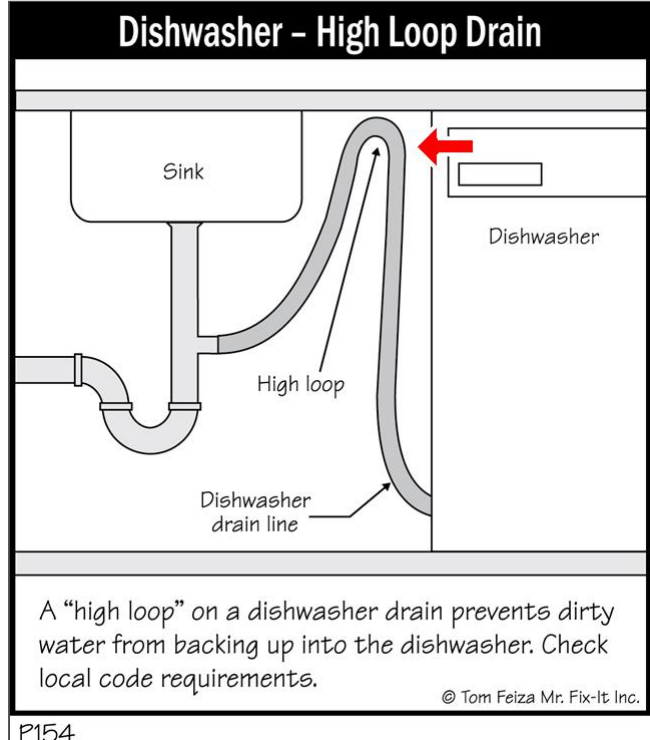


## 4. Kitchen Components and Appliances

### 4.10 Dishwasher drain line

**Maintenance / Monitor Recommended**

Dishwasher drain line should either be looped at the high point in cabinet or have an air gap installed to prevent backflow from the sink to the dishwasher.



Dishwasher drain line

## 5. Laundry Room/ Area/ Closet

### 5.3 Doors

**Inspected, Maintenance / Monitor Recommended**

The laundry room door will not shut due to shifting and settling. Recommend repair.

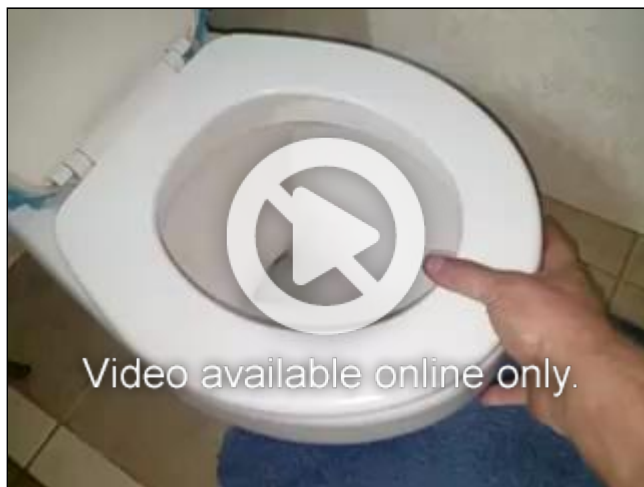


## 6(A) . Master Bath

### 6.9.A Toilets: Bowls, Tanks, Lids

#### Item of Concern

Toilet bowl is loose from the floor. Recommend tightening. Use caution when tightening so as not to crack the bowl.



### 6.12.A Tub and Shower Controls and Shower heads

#### Inspected, Maintenance / Monitor Recommended

Tub control escutcheon does not attach to valve stem properly. Recommend repair by a licensed plumber.

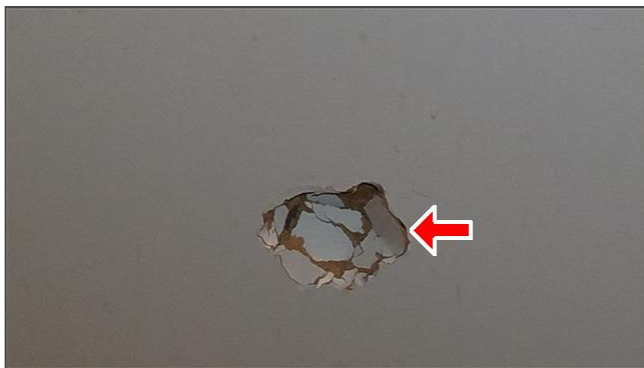


## 6(B) . Top Floor 3/4 Bath

### 6.3.B Doors

#### Inspected, Maintenance / Monitor Recommended

Damaged bathroom door needs replacing.



#### 6.10.B Toilets: Supply line, Shut-off valve and Flush and Fill Valve

##### Maintenance / Monitor Recommended

The toilet valve in the 3/4 bath bleeds off and causes the toilet to refill on an approximate 10 minute cycle. Recommend replacing valve.



### 6(C) . Main Floor Full Bath

#### 6.12.C Tub and Shower Controls and Shower heads

##### Maintenance / Monitor Recommended

Shower diverter valve does not operate properly. Recommend repair.



## 7. Rooms

### 7.0 Ceilings

#### Maintenance / Monitor Recommended

Damaged ceilings throughout the house with possible organic growth indicating a moisture related problem.(ie: lack of ventilation, possible leak) Recommend further evaluation for needed repairs.



### 7.1 Walls

#### Maintenance / Monitor Recommended

Multiple areas of damaged walls throughout the house. Recommend repair as needed.







**INVOICE**

**Inland Northwest Home Inspection LLC**  
**P.O.Box 703**  
**Lewiston Idaho 83501**  
**208.791.5933**  
**Inspected By: Chip Kenny**

**Inspection Date:** 8/3/2018  
**Report ID:** Sample Report 1

<b>Customer Info:</b>	<b>Inspection Property:</b>
Inhi Customer	123 N Anystreet Any Town ID 99999
<b>Customer's Real Estate Professional:</b>	

**Inspection Fee:**

<b>Service</b>	<b>Price</b>	<b>Amount</b>	<b>Sub-Total</b>
Standard Inspection 1001-3000 sqft	325.00	1	325.00
Total mileage	0.00	60	0.00
			<b>Tax \$0.00</b>
			<b>Total Price \$325.00</b>

**Payment Method:** Check  
**Payment Status:** Paid  
**Note:**